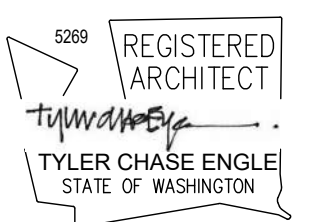


VANDENBELT RESIDENCE



VIEW FROM WEST
N.T.S.



VIEW FROM SOUTHEAST
N.T.S.



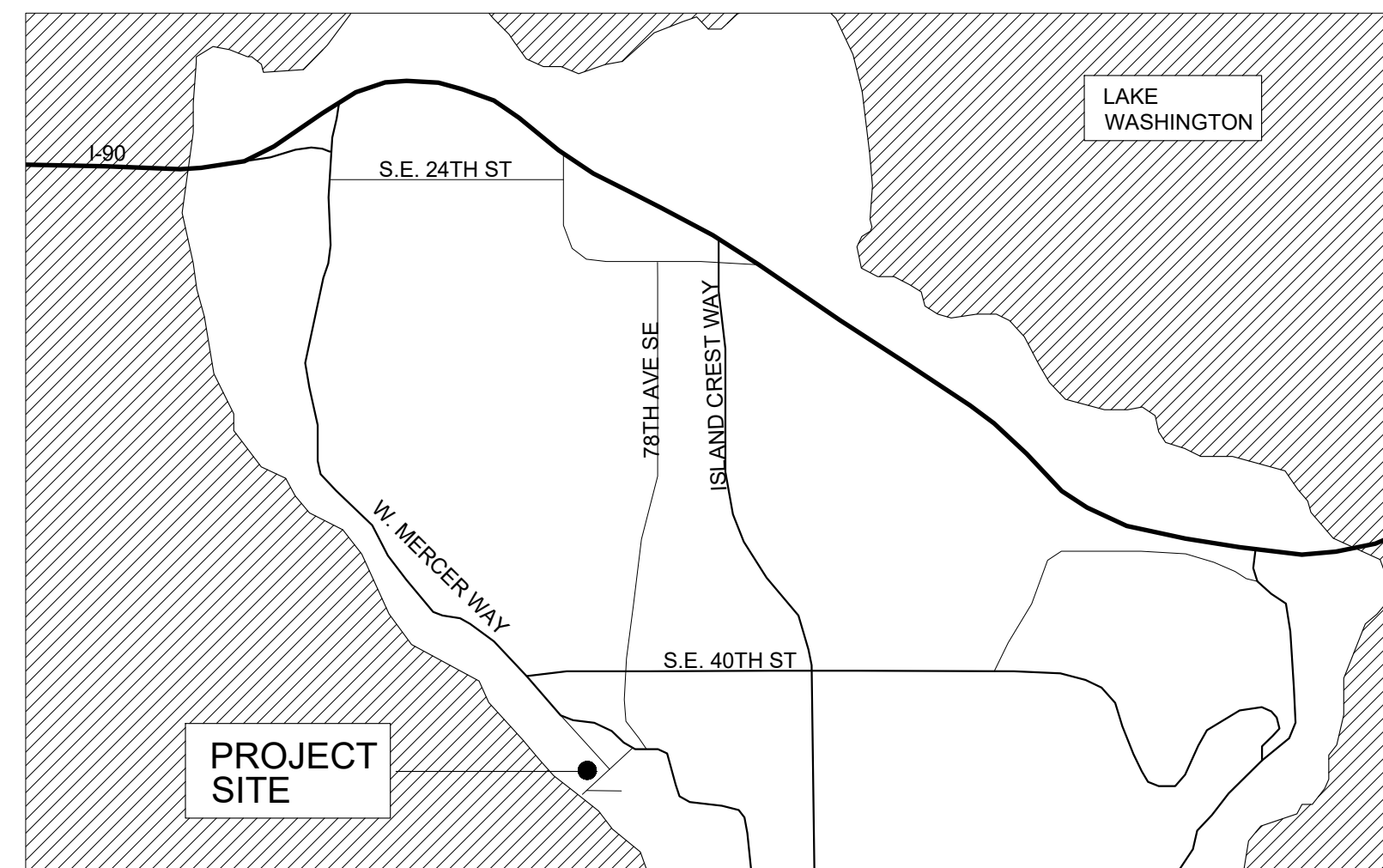
VIEW FROM REAR YARD
N.T.S.

TYPICAL ABBREVIATIONS

ALT. ALTERNATE	INT. INTERIOR
A.B. ANCHOR BOLT	MAX. MAXIMUM
A.F.F. ABOVE FINISH FLOOR	MFR. MANUFACTURER
BM. BEAM	MIN. MINIMUM
BRG. BEARING	MW. MICROWAVE
BLKG. BLOCKING	N.I.C. NOT IN CONTRACT
B.O. BOTTOM OF	N.T.S. NOT TO SCALE
BOT. BOTTOM	NO. NUMBER
B.O.W. BOTTOM OF WALL	O.C. ON CENTER
CFM CUBIC FEET PER MINUTE	O.F.I.C. OWNER FURNISHED, INSTALLED BY CONTRACTOR
CL CENTERLINE	P.C. PILE CAP
CO CARBON MONOXIDE DETECTOR	P.T. PRESSURE TREATED
CONC. CONCRETE	PL. PLATE
COL. COLUMN	P.L. PROPERTY LINE
CONT. CONTINUOUS	QTY. QUANTITY
CY CUBIC YARDS	R.D. ROOF DRAIN
D DRYER	REF. REFRIGERATOR
DIA. DIAMETER	REINF. REINFORCING
DTL. DETAIL	R.O. ROUGH OPENING
D.S. DOWNSPOUT	SD SIMILAR
DW DISHWASHER	SD SMOKE DETECTOR
DWG DRAWING	SHT. SHEET
EA. EACH	SF SQUARE FEET
EL. ELEVATION	SQ. SQUARE
EQ. EQUAL	STL. STEEL
EXIST. EXISTING CONSTRUCTION (E)	SW SHEAR WALL
EXT. EXTERIOR	(T) TEMPERED
F.F. FINISH FLOOR	T.B. THROUGH BOLT
FT. FOOT / FEET	T.O. TOP OF
FTG. FOOTING	T.O.W. TOP OF WALL
GALV. GALVANIZED	TYP. TYPICAL
GA. GAUGE	U.N.O. UNLESS NOTED OTHERWISE
G.L. GRID LINE	W WASHER
GWB GYPSUM WALL BOARD	W WITH
H.B. HOSE BIB	WH WATER HEATER
HDR. HEADER	W/O WITHOUT
HT. HEIGHT	VERT. VERTICAL
HORIZ. HORIZONTAL	V.I.F. VERIFY IN FIELD
IN. INCH / INCHES	

DRAWING SYMBOLS

# ROOM NAME	ROOM TAG
FLOOR FINISH	
(X) DWG. # TYP.	DETAIL
(X) SHT. # TYP.	
(X) SECTION #	ELEVATION
(X) SECTION #	SECTION
(X) INTERIOR ELEVATION	INTERIOR ELEVATION
(X) DOOR SYMBOL	DOOR SYMBOL
(X) WINDOW SYMBOL	WINDOW SYMBOL
(+/-0) LOCATION	ELEVATION DATUM
(+/-0) SPOT ELEVATION	SPOT ELEVATION
HB FROST FREE HOSE BIB	FROST FREE HOSE BIB
D.S. DOWNSPOUT	DOWNSPOUT
(X) GRIDLINE	GRIDLINE
ALIGN CRITICAL ALIGNMENT	CRITICAL ALIGNMENT



1 VICINITY PLAN
SCALE: N.T.S.

DRAWING LIST

- T0.1 PROJECT INFO, VICINITY MAP & DRAWING LIST
- C0.1 TOPOGRAPHIC & BOUNDARY SURVEY
- A0.0 PROJECT DATA, NOTES & CODE COMPLIANCE
- A0.1 PROJECT DATA, NOTES & CODE COMPLIANCE
- A0.2 PROJECT DATA, NOTES & CODE COMPLIANCE
- A0.3 SITE PLAN
- A0.4 LOWER LEVEL DEMOLITION PLAN
- A0.5 MAIN LEVEL DEMOLITION PLAN
- A1.1 LOWER LEVEL PLAN
- A1.2 MAIN LEVEL PLAN
- A1.3 ROOF PLAN
- A2.1 ELEVATIONS - NORTH & WEST / MATERIAL NOTES
- A2.2 ELEVATIONS - SOUTH & EAST
- A2.3 ELEVATION & DETAILS - DRIVEWAY RETAINING WALL
- A3.1 BUILDING SECTIONS A-A & B-B
- A3.2 BUILDING SECTION C-C
- A6.1 DOOR SCHEDULE & NOTES
- A6.2 WINDOW SCHEDULE, NOTES & FLASHING DIAGRAM
- S0.1 STRUCTURAL NOTES
- S1.1 FOUNDATION AND LOWER LEVEL FLOOR FRAMING PLAN
- S1.2 MAIN FLOOR FRAMING PLAN
- S1.3 ROOF AND CEILING FRAMING PLAN
- S5.1 STRUCTURAL DETAILS
- S5.2 STRUCTURAL DETAILS

PROJECT INFORMATION

PROJECT DESCRIPTION
INTERIOR REMODEL AND ALTERATION WITH MINOR STRUCTURAL WORK TO EXTEND THE DINING ROOM AND KITCHEN AS WELL AS PROVIDING VAULTED AND COVE CEILINGS. REPLACE EXTERIOR ROOF SIDING, WINDOWS, AND DOORS. ADDITION OF A BAY WINDOW UNDER EXISTING EAVE.

INSTALL FAUX BEAM AND COLUMN TRIMS TO THE EXISTING ROOF AT THE ENTRY BAY AND TO THE EXISTING ROOF AT THE WEST FACADE GABLE END.

REMOVE EXISTING CONCRETE WALKING PATH PAVERS FOR NEW. REPAVE EXISTING CONCRETE DRIVEWAY WITHOUT LAYOUT CHANGE. REINFORCE AND REPAIR EXISTING CONCRETE RETAINING WALL AT THE DRIVEWAY.

PROJECT ADDRESS
4153 BOULEVARD PLACE
MERCER ISLAND, WA 98040

LEGAL DESCRIPTION
ISLAND PARK REPLAT OF SWLY 150FT OF NELY 300 FT LESS NWLY 60 FT
PLAT BLOCK: C
PLAT LOT: 13

PARCEL ID:
382350-0456

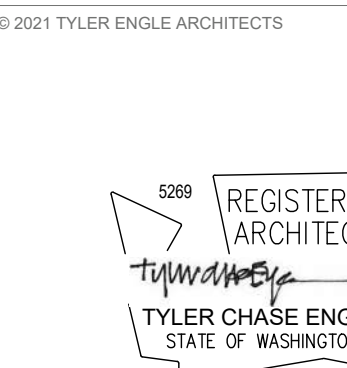
REFERENCE DOCUMENTS

- REQUIREMENTS FROM THE FOLLOWING REFERENCE DOCUMENTS SHALL BE INCLUDED IN THE SCOPE OF WORK.
- GEOTECHNICAL ENGINEERING EVALUATION**
REFER TO REPORT PREPARED BY MARC R. MCGINNIS OF GEOTECH CONSULTANTS, INC. DATED 8/4/2023.
- STRUCTURAL CALCULATIONS**
REFER TO STRUCTURAL AND SHORING CALCULATIONS BY EVIN GIBSON OF SSF STRUCTURAL ENGINEERING.

PROJECT DIRECTORY

- OWNER**
RUSSELL & LINDA VANDENBELT
4153 BOULEVARD PLACE
MERCER ISLAND, WA 98040
- ARCHITECT**
TYLER ENGLE A.I.A. / JIM TUNG
TYLER ENGLE ARCHITECTS PS
2126 WESTLAKE AVENUE
SEATTLE, WA 98121
PH 206.621.7150
- STRUCTURAL ENGINEER**
EVIN GIBSON
SSF STRUCTURAL ENGINEERING
2124 THIRD AVENUE, SUITE 100
SEATTLE, WA 98121
PH 206.443.6212
- GEOTECHNICAL ENGINEER**
MARC R. MCGINNIS, PE
GEOTECH CONSULTANTS, INC.
2401 10TH AVENUE EAST
SEATTLE, WA 98102
PH 425.747.5618

CONTRACTOR
T.B.D.



DEDICATED APPROVAL STAMP SPACE

DRAWING TITLE:
TOPOGRAPHIC & BOUNDARY SURVEY

DRAWN / CHECKED BY:
DRAWN BY: TERRANE
CHECKED BY: J. TUNG, T. ENGLE

DATE:
10.11.2023

SHEET NUMBER:
C0.1

TOPOGRAPHIC & BOUNDARY SURVEY

LEGAL DESCRIPTION

(PER STATUTORY WARRANTY DEED RECORDING# 199607291073)
SOUTHWESTERLY 150 FEET IN DEPTH OF THE NORTHEASTERLY 300 FEET IN DEPTH OF LOT 13, BLOCK C, REPLAT OF ISLAND PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 13 OF PLATS, PAGE 58, RECORDS OF KING COUNTY, WASHINGTON; EXCEPT THE NORTHWESTERLY 60 FEET IN WIDTH.
SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

NAD 83(2011) WASHINGTON NORTH STATE PLANE COORDINATES PER GPS OBSERVATIONS

REFERENCES

- R1. RECORD OF SURVEY, VOL. 229, PG. 80, RECORDS OF KING COUNTY, WASHINGTON.
- R2. RECORD OF SURVEY, VOL. 350, PG. 234, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

VERTICAL DATUM PER UNITED STATES ARMY CORPS OF ENGINEERS, LAKE WASHINGTON DATUM. ELEVATION OF 21.87' OBSERVED ON MAY 12, 2015 AT 8:18 AM. (ESTABLISHED PER R2 SURVEY)

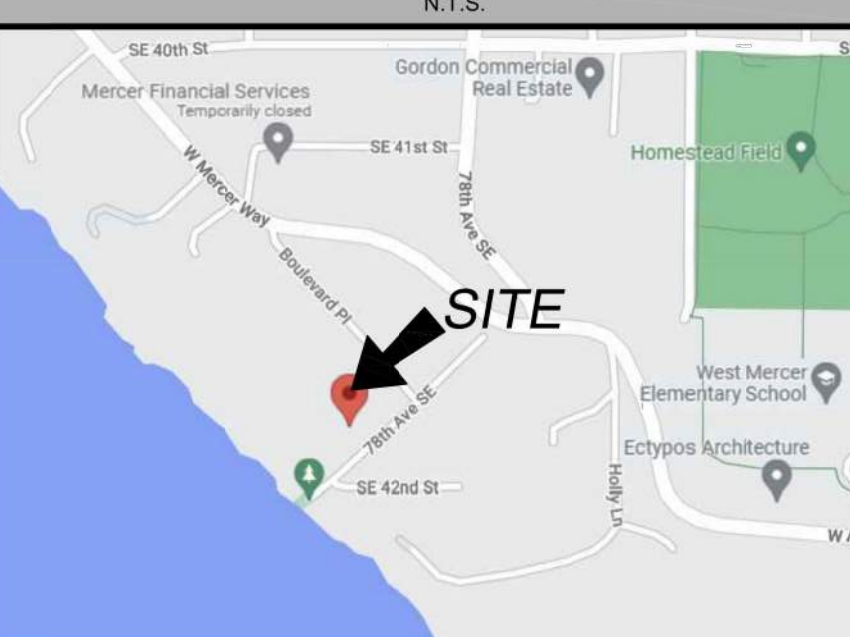
SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN JULY OF 2022. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES. TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 3623500456.
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 15,000± S.F. (0.34 ACRES).
6. THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF A TITLE REPORT, EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
8. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

LEGEND

- | | |
|--------------------------|-----------------------------|
| ASPHALT SURFACE | POWER (OVERHEAD) POWER POLE |
| BUILDING | REBAR AS NOTED (FOUND) |
| CENTERLINE ROW | REBAR & CAP (SET) |
| CLEANOUT | ROOKERY |
| CULVERT PIPE | SEWER LINE |
| CONCRETE SURFACE | SEWER MANHOLE |
| RETAINING WALL | STORM DRAIN LINE |
| DECK | TREE (AS NOTED) |
| DITCH (FLOWLINE) | WATER METER |
| FENCE LINE (CHAIN LINK) | WATER VALVE |
| FENCE LINE (WOOD) | GENERATOR |
| FIRE HYDRANT | GAS METER |
| GAS LINE | GUY ANCHOR |
| IRON PIPE (FOUND) | INLET (TYPE 1) |
| MAILBOX (RESIDENTIAL) | STEEP SLOPE AREA |
| MONUMENT IN CASE (FOUND) | |
| POWER (UNDERGROUND) | |

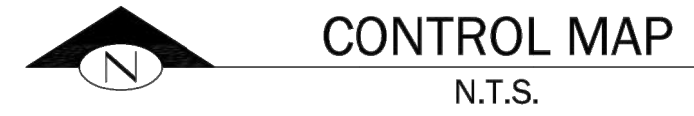
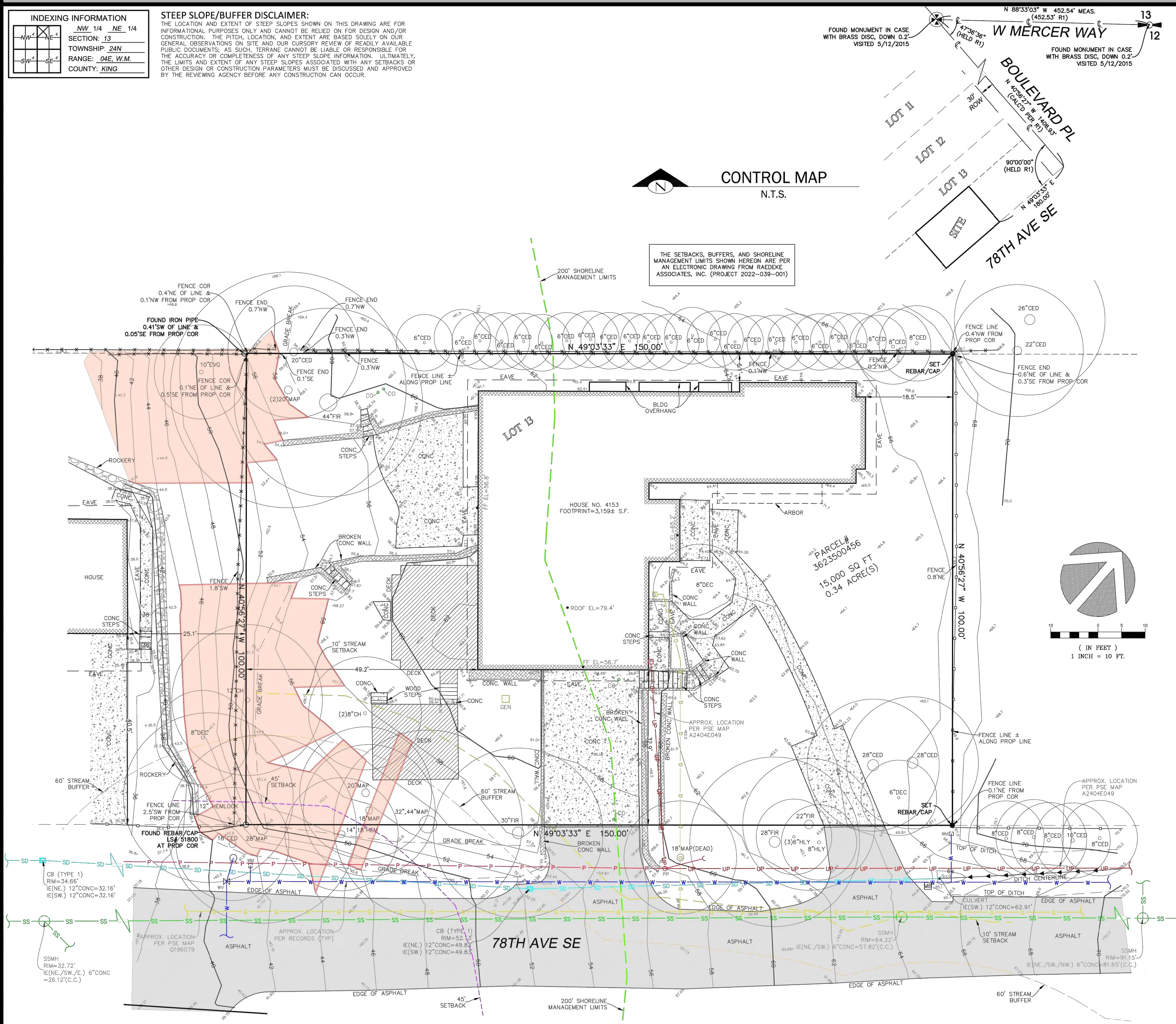
VICINITY MAP



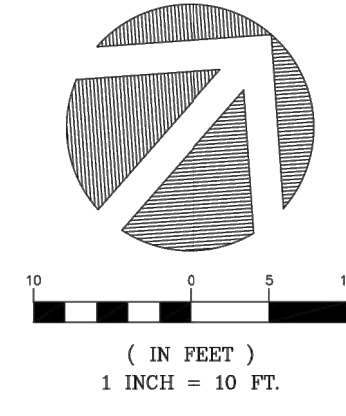
INDEXING INFORMATION

NW 14 NE 14
SECTION: 13
TOWNSHIP: 24N
RANGE: 04E, W.M.
COUNTY: KING

STEEP SLOPE/BUFFER DISCLAIMER:
THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.



THE SETBACKS, BUFFERS, AND SHORELINE MANAGEMENT LIMITS SHOWN HEREON ARE PER AN ELECTRONIC DRAWING FROM RADEKKE ASSOCIATES, INC. (PROJECT 2022-039-001)

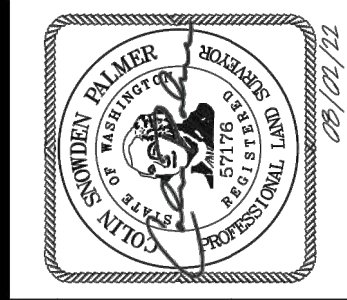


THIS SURVEY IS PROVIDED FOR REFERENCE ONLY. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE CONTENT OF THIS DRAWING.
NOTE: THE SCALE OF THE SURVEY HAS BEEN CHANGED FROM THE ORIGINAL FOR THE PURPOSE OF FORMATTING.

We are the measure | terrane.net

TOPOGRAPHIC & BOUNDARY SURVEY

VANDEBELT RESIDENCE



TERRANE
10801 Main Street, Suite 102
Bellevue, WA 98004
p. 425-455-4488 | e. info@terrane.net

JOB NUMBER:	220498
DATE:	08/02/23
DRAFTED BY:	JAK
CHECKED BY:	CSP
SCALE:	1" = 10'
REVISION HISTORY	
SHEET NUMBER	1 OF 1

ZONING & SETBACK INFORMATION

ZONING
R-15

PARCEL NUMBER
362350-0456

LEGAL DESCRIPTION
ND PARK REPLAT OF SWLY 150 FT OF NELY 300 FT LESS NWLY 60 FT
PLAT BLOCK: C
PLAT LOT: 13

YARDS
FRONT YARD: 20'-0"
REAR YARD: 25'-0"
SIDE YARDS: 12'-9"

*PER MICC 19.02.020 C, FOR LOTS WITH A LOT WIDTH OF MORE THAN 90 FEET, THE SUM OF THE SIDE YARDS' WIDTH SHALL BE A WIDTH THAT IS EQUAL TO AT LEAST 17 PERCENT OF THE LOT WIDTH.

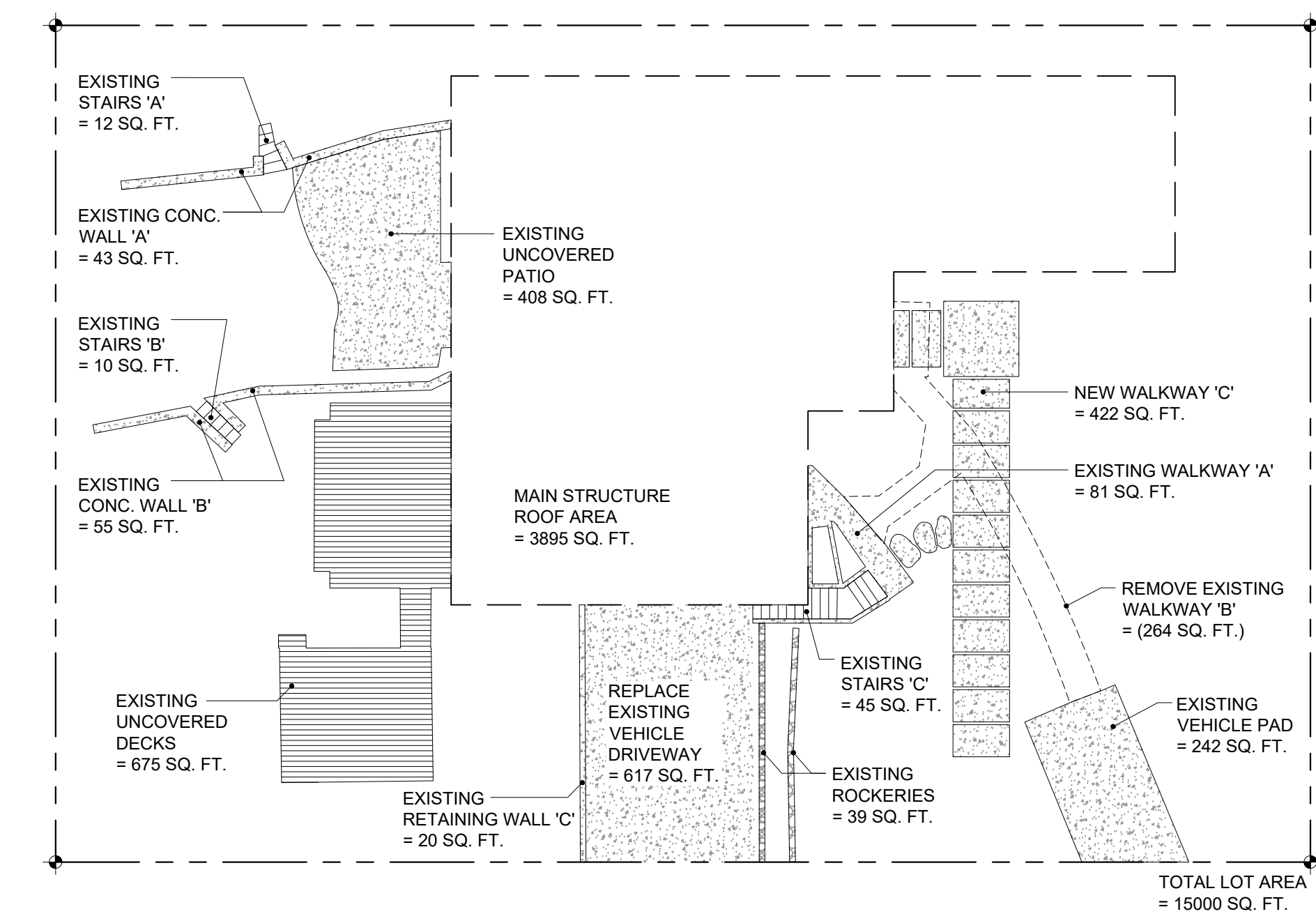
NOTE: THE EXISTING HOUSE WAS BUILT IN 1952 AND THE YARD ORIENTATION HAS SINCE CHANGED. THE NONCONFORMING SETBACK AT THE NORTH SIDE IS EXISTING.

ANY PROPOSED ADDITION SHALL COMPLY WITH MICC 19.01.050(D)(1)(b): "A LEGALLY NONCONFORMING DETACHED SINGLE-FAMILY DWELLING MAY BE INTENTIONALLY ALTERED OR ENLARGED WITHOUT LOSING ITS LEGAL NONCONFORMING STATUS AS LONG AS NO MORE THAN 40 PERCENT OF THE LENGTH OF THE DWELLING'S EXISTING EXTERIOR WALLS, EXCLUDING ATTACHED ACCESSORY BUILDINGS, IS STRUCTURALLY ALTERED."

LOT SLOPE

LOT SLOPE
A. HIGHEST ELEVATION POINT OF LOT = 68.0 FT.
B. LOWEST ELEVATION POINT OF LOT = 47.0 FT.
C. ELEVATION DIFFERENCE = 21.0 FT.
D. HORIZONTAL DISTANCE BETWEEN HIGH AND LOW POINTS = 180.28 FT.
E. LOT SLOPE = 11.65 %

LOT COVERAGE DIAGRAM



LOT COVERAGE

LOT COVERAGE CALCULATIONS
A. GROSS LOT AREA = 15,000 SQ. FT.
B. NET LOT AREA = 15,000 SQ. FT.
C. ALLOWED LOT COVERAGE AREA = 6,000 SQ. FT.
D. ALLOWED LOT COVERAGE = 40 % OF LOT
E. EXISTING LOT COVERAGE:
1. MAIN STRUCTURE ROOF AREA = 3895 SQ. FT.
2. ACCESSORY BUILDING ROOF AREA = 0 SQ. FT.
3. VEHICULAR USE (DRIVEWAY, PAVED ACCESS EASEMENTS, PARKING) = 859 SQ. FT.
4. COVERED PATIOS AND COVERED DECKS = 0 SQ. FT.
5. TOTAL EXISTING LOT COVERAGE AREA = 4754 SQ. FT.
F. (TOTAL LOT COVERAGE AREA REMOVED) = 0 SQ. FT.
G. PROPOSED ADJUSTMENT FOR SINGLE STORY (AREA) = 0 SQ. FT.
H. PROPOSED ADJUSTMENT FOR FLAG LOT = 0 SQ. FT.
I. TOTAL NEW LOT COVERAGE AREA:
1. MAIN STRUCTURE ROOF AREA = 0 SQ. FT.
2. ACCESSORY BUILDING ROOF AREA = 0 SQ. FT.
3. VEHICULAR USE (DRIVEWAY, PAVED ACCESS EASEMENTS, PARKING) = 0 SQ. FT.
4. COVERED PATIOS AND COVERED DECKS = 0 SQ. FT.
5. TOTAL NEW LOT COVERAGE AREA = 0 SQ. FT.
J. TOTAL PROJECT LOT COVERAGE AREA = 4754 SQ. FT.
K. PROPOSED LOT COVERAGE AREA = 31.7 % OF LOT

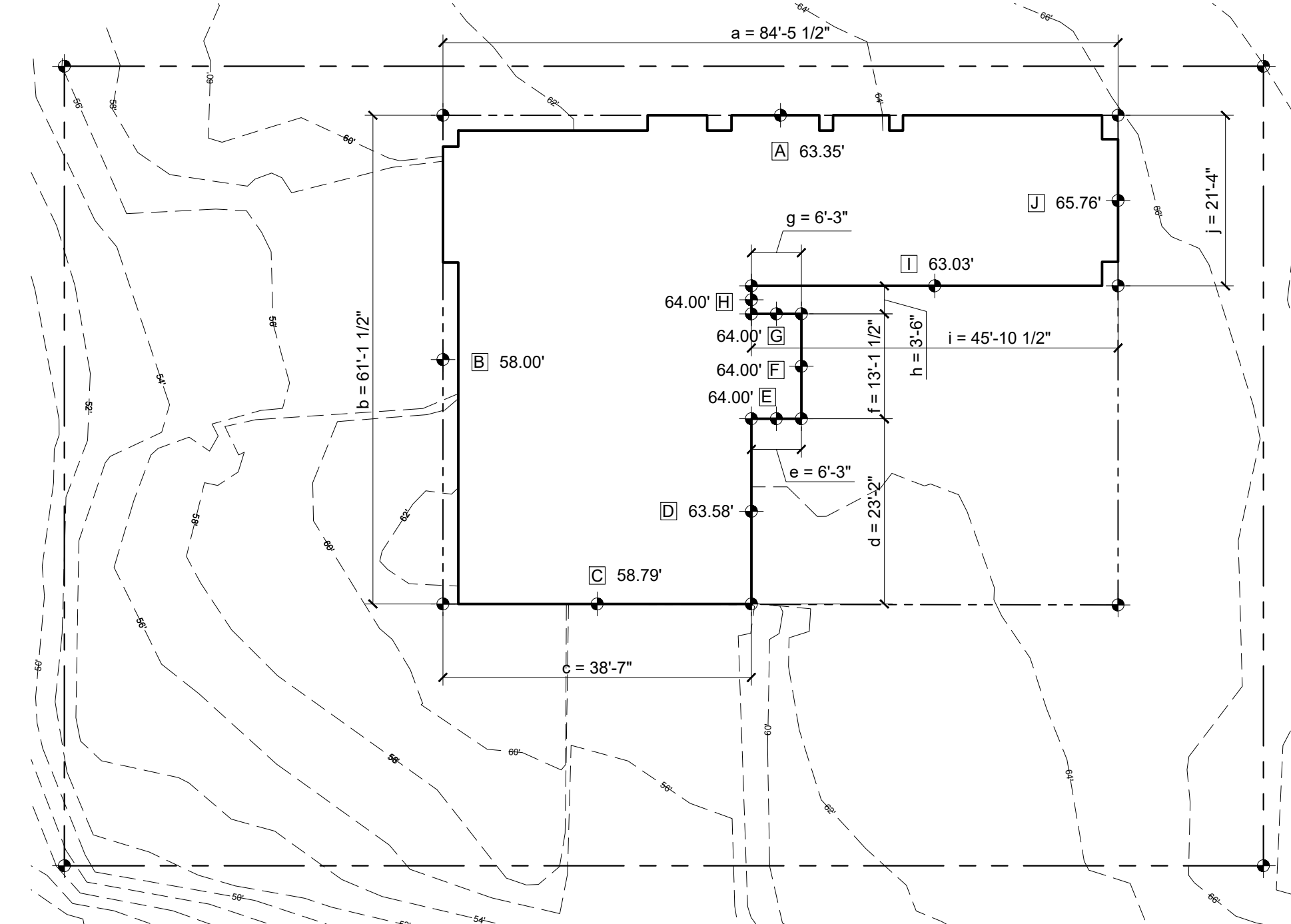
HARDSCAPE

HARDSCAPE CALCULATIONS
A. GROSS LOT AREA = 15,000 SQ. FT.
B. NET LOT AREA = 15,000 SQ. FT.
C. AREA BORROWED FROM LOT COVERAGE = 1246 SQ. FT.
D. ALLOWED HARDSCAPE AREA = 2596 SQ. FT.
E. ALLOWED HARDSCAPE AREA = 17.3 % OF LOT.
F. TOTAL EXISTING HARDSCAPE AREA:
1. UNCOVERED DECKS = 0 SQ. FT.
2. UNCOVERED PATIOS = 408 SQ. FT.
3. WALKWAYS = 345 SQ. FT.
4. STAIRS = 66 SQ. FT.
5. ROCKERIES AND RETAINING WALLS = 158 SQ. FT.
6. OTHER = 0 SQ. FT.
7. TOTAL EXISTING HARDSCAPE AREA = 1652 SQ. FT.
G. (TOTAL HARDSCAPE AREA REMOVED) = (264 SQ. FT.)
H. TOTAL NEW HARDSCAPE AREA:
1. UNCOVERED DECKS = 0 SQ. FT.
2. UNCOVERED PATIOS = 0 SQ. FT.
3. WALKWAYS = 422 SQ. FT.
4. STAIRS = 0 SQ. FT.
5. ROCKERIES AND RETAINING WALLS = 0 SQ. FT.
6. OTHER = 0 SQ. FT.
7. TOTAL NEW HARDSCAPE AREA = 422 SQ. FT.
I. TOTAL PROJECT HARDSCAPE AREA = (F7 - G) + H7 = 1810 SQ. FT.
J. TOTAL PROJECT HARDSCAPE AREA = (IB) x 100 = 12.07 % OF LOT

BUILDING HEIGHT CALCULATION

BUILDING HEIGHT CALCULATIONS
A. AVERAGE BUILDING ELEVATION (ABE) CALCULATION LOCATED ON SHEET A0.0.
B. ALLOWABLE BUILDING HEIGHT (ABE + 30 FT) = 91.90 FT.
C. PROPOSED BUILDING HEIGHT = 79.87 FT.
D. BENCHMARK ELEVATION = 56.41 FT.
E. DESCRIBE BENCHMARK LOCATION (MUST BE UNDISTURBED THROUGHOUT PROJECT):
THE BENCHMARK LOCATION IS LOCATED ON THE SITE PLAN A0.1 AT THE CENTER OF THE EXISTING CONCRETE PATIO (WEST OF HOUSE) WITH ELEVATION OF 56.41 FT.
F. SLOPING LOT (DOWNHILL SIDE) - MAXIMUM HEIGHT OF TOP OF EXTERIOR WALL FACADE ABOVE LOWEST EXISTING GRADE (30-FT MAX) = 22.98 FT.
REFER TO ELEVATION SHEET A2.1
G. ABE AND ALLOWABLE BUILDING HEIGHT SHOWN ON ELEVATIONS SHEET A2.1 AND A2.2.
H. TOPO-SURVEY ACCURACY ATTESTATION IS NOT REQUIRED AS THE PROPOSED BUILDING HEIGHT IS NOT WITHIN 2 FEET OF THE ALLOWABLE BUILDING HEIGHT.

AVERAGE BUILDING ELEVATION DIAGRAM



AVERAGE BUILDING ELEVATION CALCULATION

Point	Area	Elevation
A	63.35'	63.35'
B	58.00'	58.00'
C	58.79'	58.79'
D	63.58'	63.58'
E	64.00'	64.00'
F	64.00'	64.00'
G	64.00'	64.00'
H	64.00'	64.00'
I	63.03'	63.03'
J	65.76'	65.76'

Point	Area	Elevation
a	84.46'	84.46'
b	61.13'	61.13'
c	38.58'	38.58'
d	23.17'	23.17'
e	6.25'	6.25'
f	13.12'	13.12'
g	6.25'	6.25'
h	3.50'	3.50'
i	45.88'	45.88'
j	21.33'	21.33'

$$\text{AVERAGE BUILDING ELEVATION} = \frac{(A \times a) + (B \times b) + (C \times c) + (D \times d) + (E \times e) + (F \times f) + (G \times g) + (H \times h) + (I \times i) + (J \times j)}{a + b + c + d + e + f + g + h + i + j}$$

$$= \frac{(63.35 \times 84.46) + (58.00 \times 61.13) + (58.79 \times 38.58) + (63.58 \times 23.17) + (64.00 \times 6.25) + (64.00 \times 13.12) + (64.00 \times 6.25) + (64.00 \times 3.50) + (63.03 \times 45.88) + (65.76 \times 21.33)}{84.46 + 61.13 + 38.58 + 23.17 + 6.25 + 13.12 + 6.25 + 3.50 + 45.88 + 21.33}$$

$$= \frac{(5350.54) + (3545.54) + (2268.12) + (1473.15) + (400.00) + (839.68) + (400.00) + (224.00) + (2891.82) + (1402.66)}{303.67} = \frac{18795.51}{303.67} = 61.90' \text{ (AVERAGE BUILDING ELEVATION)}$$

GENERAL NOTES

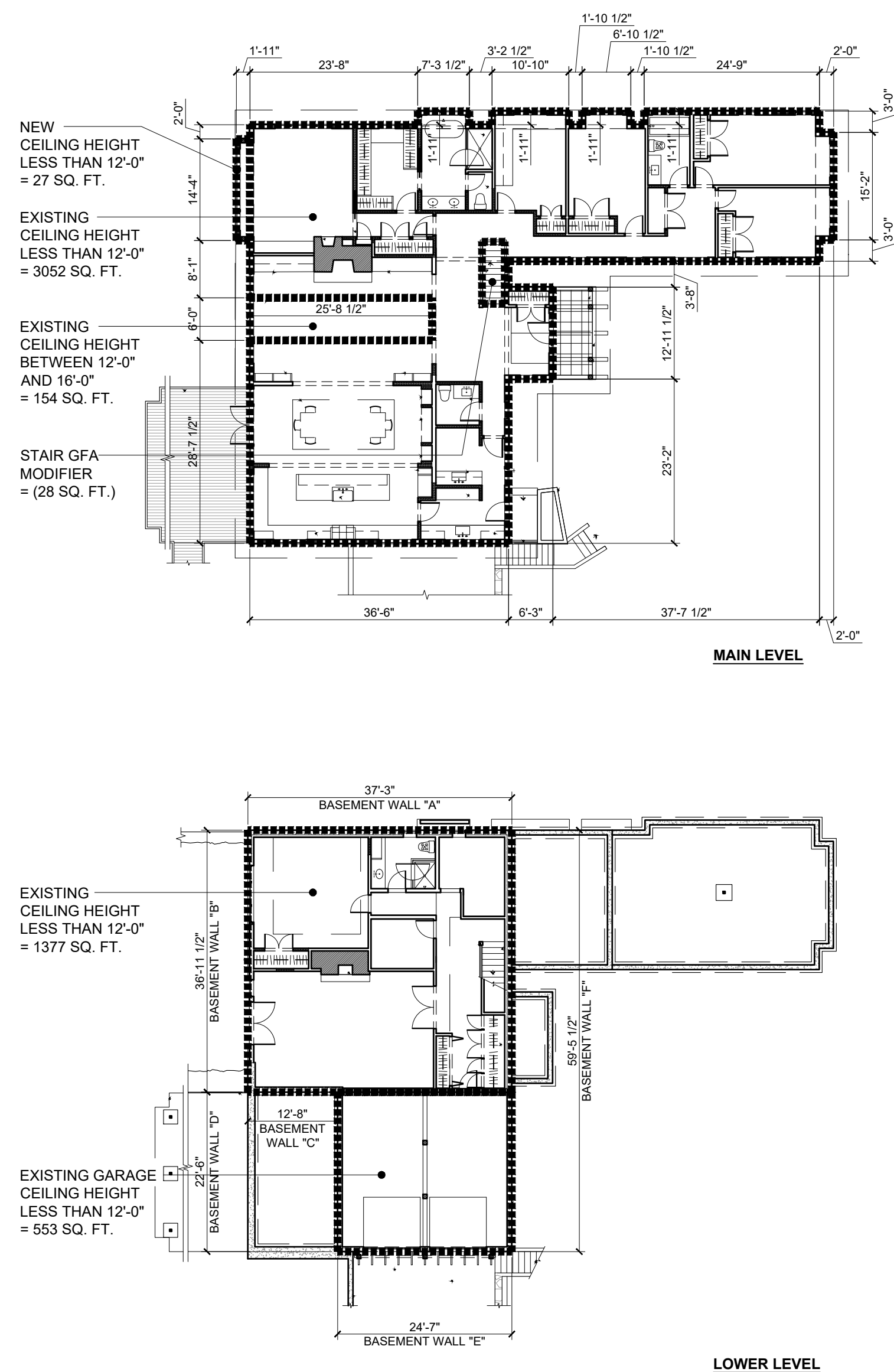
- CURRENT EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), UNIFORM PLUMBING CODE (UPC), INTERNATIONAL MECHANICAL CODE (IMC), NATIONAL ELECTRICAL CODE (NEC), AND WASHINGTON STATE ENERGY CODE (WSEC), INCLUDING ALL CITY OF SEATTLE AMENDMENTS, APPLY.
- IF ERRORS, OMISSIONS, OR CONFLICTS IN THESE DOCUMENTS ARE FOUND OR SUSPECTED, NOTIFY THE ARCHITECT IMMEDIATELY AT THE ADDRESS OR TELEPHONE NUMBER SHOWN.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, LOCATION, AND DISPOSITION OF EXISTING UTILITIES AND EASEMENTS.
- USE PRINTED DIMENSIONS ONLY. NOTIFY ARCHITECT IMMEDIATELY IN CASE OF OMISSION OR CONFLICT. DO NOT SCALE DRAWINGS.
- UNLESS OTHERWISE NOTED:
 - DIMENSIONS FOR CONCRETE ARE TO FACE OF CONCRETE.
 - DIMENSIONS FOR PARTITIONS ARE TO FACE OF STUD.
 - DIMENSIONS FOR CABINETS ARE TO FACE OF FINISH WALL & CABINET BOXES.
 - DIMENSIONS SHOWN ON INTERIOR ELEVATIONS ARE FROM FINISH TO FINISH.
- PLUMBING, MECHANICAL, AND ELECTRICAL WORK SHALL BE UNDER SEPARATE PERMITS ACCORDING TO APPLICABLE CODES. CONTRACTOR SHALL OBTAIN SUCH PERMITS.
- SPECIAL INSPECTIONS THAT ARE REQUIRED BY THE BUILDING DEPARTMENT SHALL BE COORDINATED BY THE CONTRACTOR.
- INSTALL DRAFT STOPS IN FLOOR / CEILING ASSEMBLIES SO THAT CONCEALED SPACE DOES NOT EXCEED 1,000 SF. DRAFTSTOPPING SHALL BE INSTALLED PER SRC R302.12.
- INSTALL FIREBLOCKING IN WALL ASSEMBLIES. FIREBLOCKING SHALL BE INSTALLED PER SRC R302.11.
- PROVIDE BLOCKING AT WALLS BEHIND LIGHT FIXTURES, TOWEL BARS, HOSE BIBS, STRUCTURAL STEEL CONNECTORS, AND ANY OTHER MOUNTED ACCESSORIES. VERIFY TYPE OF MOUNTING BLOCK WITH ARCHITECT PRIOR TO INSTALLATION.
- PRESSURE TREATED LUMBER SHALL BE INSTALLED AT ALL EXTERIOR APPLICATIONS AND WHERE IN CONTACT WITH CONCRETE SURFACES (TYPICAL). USE APPEARANCE GRADE TREATED MATERIAL AT ALL EXPOSED LOCATIONS.
- VAPOR RETARDING PAINT NOT TO EXCEED 1 PERM LISTED FOR THIS APPLICATION SHALL BE USED ON INTERIOR SIDE OF ALL EXTERIOR WALLS AND CEILINGS.
- SEPARATE ALL UNLIKE METALS OR PROVIDE INERT SPACER TO PREVENT ELECTROLYSIS.
- ALL HABITABLE SPACE HEIGHTS SHALL COMPLY WITH SRC R305.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL CABINETS TO ARCHITECT FOR APPROVAL PRIOR TO PROCEEDING WITH MATERIAL ORDER OR CABINET MANUFACTURE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTOR'S WORK. THE ARCHITECT HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE ARCHITECT HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.

GROSS FLOOR AREAS

GROSS FLOOR AREA (GFA) CALCULATION				
BUILDING AREA	EXISTING AREA	REMOVED AREA	NEW / ADDITION AREA	TOTAL
UPPER FLOOR	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.
MAIN FLOOR	3206 SQ. FT.	0 SQ. FT.	27 SQ. FT.	3233 SQ. FT.
GROSS BASEMENT AREA	1377 SQ. FT.	0 SQ. FT.	0 SQ. FT.	1377 SQ. FT.
GARAGE / CARPORT	553 SQ. FT.	0 SQ. FT.	0 SQ. FT.	553 SQ. FT.
TOTAL FLOOR AREA	5136 SQ. FT.	0 SQ. FT.	27 SQ. FT.	5163 SQ. FT.
ACCESSORY BUILDINGS	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.
ACCESSORY DWELLING UNIT	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.
2ND & 3RD STORY ROOFED DECKS	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.
BASEMENT AREA EXCLUDED	(1249 SQ. FT.)	0 SQ. FT.	0 SQ. FT.	(1249 SQ. FT.)
150% GFA MODIFIER (MAIN AND UPPER FLOOR X2)	77 SQ. FT.	0 SQ. FT.	0 SQ. FT.	77 SQ. FT.
200% GFA MODIFIER (MAIN AND UPPER FLOOR X2)	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.
STAIRCASE GFA MODIFIER (X2 FOR THREE STORY STAIRCASE, X3 FOR A FOUR STORY STAIRCASE)	(28 SQ. FT.)	0 SQ. FT.	0 SQ. FT.	(28 SQ. FT.)
TOTAL BUILDING AREA	3936 SQ. FT.	0 SQ. FT.	0 SQ. FT.	3963 SQ. FT.

A. LOT AREA = 15,000 SQ. FT.
 B. ZONE = R-15
 C. ALLOWED GROSS FLOOR AREA = 6000 SQ. FT.
 D. ALLOWED GROSS FLOOR AREA = 40 % OF LOT
 E. PROPOSED GROSS FLOOR AREA = 3963 SQ. FT.
 F. PROPOSED GROSS FLOOR AREA = 26.42 % OF LOT

GROSS FLOOR AREA DIAGRAMS

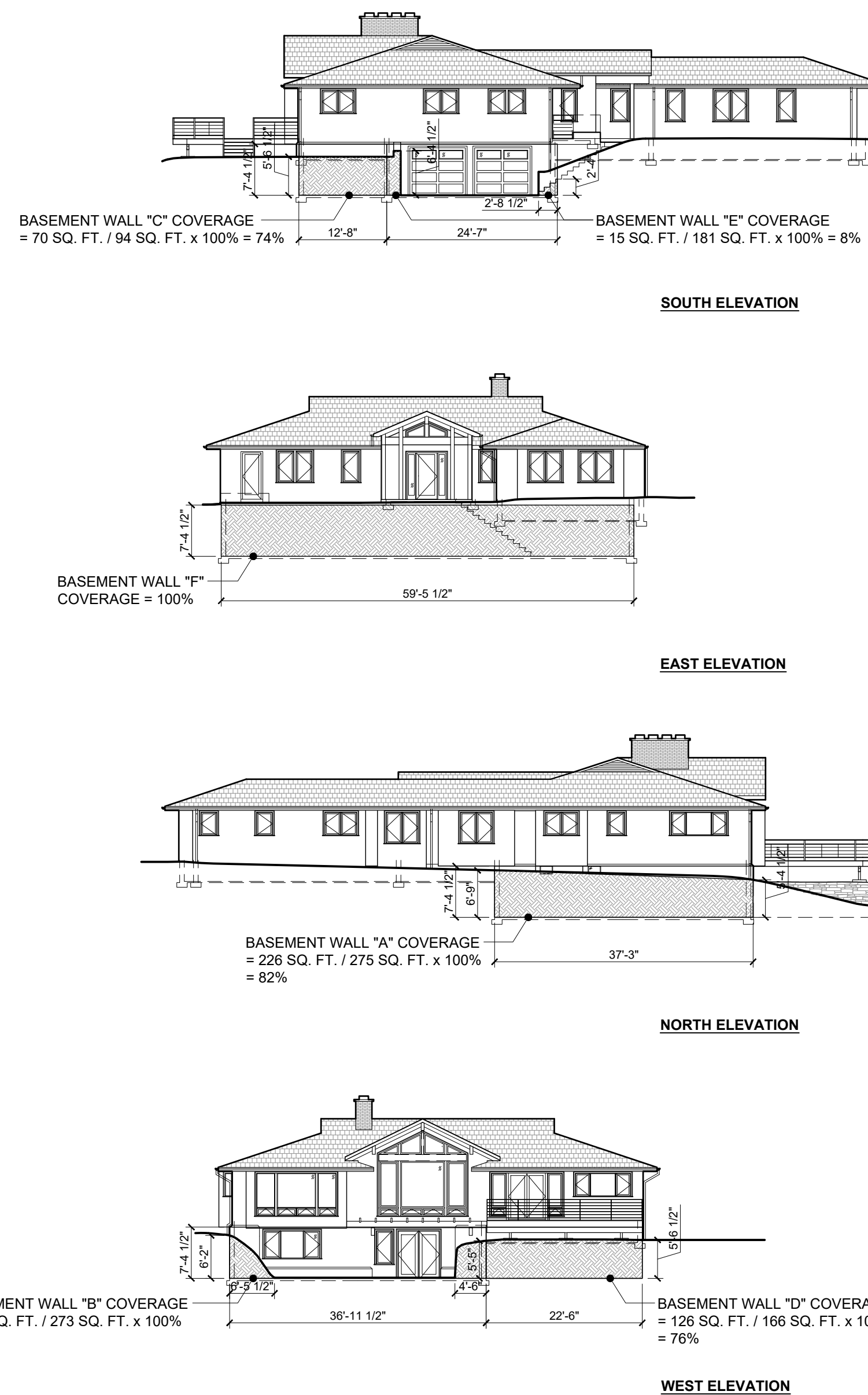


BASEMENT FLOOR AREA

BASEMENT FLOOR AREA CALCULATION (MICC APPENDIX B)			
WALL SEGMENT	LENGTH x	COVERAGE =	RESULT
A	37.25'	82%	30.54'
B	36.96'	18%	6.65'
C	12.67'	74%	9.38'
D	22.50'	76%	17.1'
E	24.58'	8%	2.00'
F	59.46'	100%	59.46'
TOTALS	193.42'	NA	125.13'

PORTION OF EXCLUDED BASEMENT FLOOR AREA
 = 1930 SQ. FT. x (125.13') / 193.42'
 = **1249 SQ. FT. (EXCLUDED FROM THE GROSS FLOOR AREA)**

BASEMENT FLOOR AREA DIAGRAMS



COMPLIANCE NOTES FOR MICC 19.07.160.F.2

CONTRACTOR SHALL COMPLY WITH DEVELOPMENT STANDARD MICC 19.07.160.F.2 WHERE LAND CLEARING, GRADING, FILLING, AND FOUNDATION WORK WITHIN (a) AN EROSION HAZARD AREA, WHEN 2,000 SQUARE FEET OR MORE OF SITE DISTURBANCE IS PROPOSED, AND/OR (b) A LANDSLIDE HAZARD AREA ARE NOT PERMITTED BETWEEN OCTOBER 1 AND APRIL 1.

MECHANICAL / VENTILATION NOTES

NEW NATURAL GAS FURNACE WITH NEW AND EXIST. DUCTING SHALL PROVIDE FORCED AIR HEATING FOR THE HOUSE. MODIFICATIONS TO EXIST. MECHANICAL SYSTEM AND ADDITIONAL DUCTING FOR PLANNED REMODEL SHALL BE BIDDER DESIGNED AND UNDER SEPARATE PERMIT

- INTERMITTENTLY OPERATING EXHAUST FANS SHALL BE PROVIDED IN BATHROOMS AND LAUNDRY ROOMS AT MINIMUM 50 C.F.M. AND IN THE KITCHEN AT MINIMUM 100 C.F.M. (VERIFY MANUFACTURER AND LOCATION WITH ARCHITECT).
- SUPPLY AND EXHAUST DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED TO R-4. EXHAUST DUCTS FOR THIS INTERMITTENT SYSTEM SHALL BE EQUIPPED WITH BACK DRAFT DAMPERS.
- INTERMITTENTLY OPERATING EXHAUST FANS SHALL BE CONTROLLED BY MANUAL SWITCHES, TIMERS, DEHUMIDISTATS, OR OTHER APPROVED MEANS.
- HEAT PUMPS, AIR COMPRESSORS, AIR CONDITIONING UNITS, AND OTHER SIMILAR MECHANICAL EQUIPMENT MAY BE LOCATED WITHIN ANY REQUIRED YARD. MECHANICAL EQUIPMENT SHALL NOT EXCEED THE MAXIMUM PERMISSIBLE NOISE LEVELS SET FORTH IN WAC 173-60-040. ANY SUCH EQUIPMENT SHALL NOT BE LOCATED WITHIN THREE FEET OF ANY LOT LINE.
- PER MICC 17.03.010, THE 2018 EDITION OF THE INTERNATIONAL MECHANICAL CODE (IMC) IS ADOPTED.
- THE MECHANICAL VENTILATION SYSTEM SHALL BE INTEGRATED WITH THE FORCED AIR SYSTEM AND COMPLY WITH 2018 IMC M403.3.2. MECHANICAL DESIGN SHALL BE SUBMITTED UNDER A SEPARATE PERMIT.

ROOF VENTING:

PER 2018 IRC R806 PROVIDE 1 / 150 OF THE TOTAL ENCLOSED ROOF AREA.

ROOF AREAS:

GABLE & HIP ROOF ENCLOSED AREA = 2852 SF
 VAULTED GABLE ROOF AREA = 409 SF (EXEMP FROM VENTING - AIR- IMPERMEABLE SOLID SPRAY FOAM INSULATION)
 TOTAL ENCLOSED VENTED ROOF AREA = **2852 SF**

VENTING AREA REQUIRED: 2852 SF / 150 = **19.1 SF**
 VENTING AREA PROPOSED: **19.91 SF** (SEE BREAKDOWN BELOW)

SOFFIT VENTING:

143'-0" LINEAR FEET
 TOTAL SOFFIT VENTING = 143'-0" L.F. x (0.083 SF NET VENTILATION / L.F.) = **11.87 SF**

GABLE END VENTING:

30% OPEN AREA OF 2x TRIANGULAR WIND BAFFLE (9.3 SF / EA.)
 TOTAL GABLE END VENTING = 2 x 30% x 9.3 SF = **5.58 SF**

STATIC VENTILATOR THROUGH ROOF:

(6x) STATIC VENTILATOR @ 0.41 SF / EA
 TOTAL VENTILATOR THROUGH ROOF = 6 x 0.41 SF NET VENTILATION = **2.46 SF**

ENERGY CODE DATA

ENERGY CODE COMPLIANCE PER CHAPTER 4 OF THE WSEC (2018) EXCEPT WHERE NOTED, WEIGHTED AVERAGES FOR EACH CATEGORY SHALL MEET THE FOLLOWING VALUES (TAKEN FROM TABLE R402.1.1 AND R402.1.3 FOR CLIMATE ZONE 4C). EXISTING CEILING, WALL, AND FLOOR CAVITIES THAT ARE EXPOSED DURING CONSTRUCTION SHALL BE FILLED WITH INSULATION PER 2018 WSEC R101.4.3.3

U-FACTORS	
FENESTRATION:	0.30
INSULATION R-VALUES	
CEILING:	R-49
VAULTED CEILING:	R-38 (IF THE FULL INSULATION DEPTH EXTENDS OVER THE TOP PLATE OF THE EXTERIOR WALL)
WALL ABOVE GRADE:	R-21 INT
WALL BELOW GRADE:	R-10/15/21 INT + TB (REFER TO TABLE R402.1.1 FOR MORE INFORMATION)
FLOOR:	R-30
SLAB:	R-10

GENERAL ENERGY REQUIREMENTS

- THE DUCT LEAKAGE TEST RESULTS FORM FOR EXISTING CONSTRUCTION SHALL BE SUBMITTED TO THE BUILDING INSPECTOR AND HOME OWNER PRIOR TO AN APPROVED FINAL INSPECTION.
- A PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR WITHIN THREE FEET OF THE ELECTRICAL DISTRIBUTION PANEL BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL PER 2018 WSEC R401.3.
- AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH NEW HEATING AND COOLING SYSTEM PER 2018 WSEC R403.1.

ENERGY COMPLIANCE

PER 2018 WSEC R501.1.1, ADDITIONS, ALTERATIONS, OR REPAIR TO AN EXISTING BUILDING, BUILDING SYSTEM OR PORTION THEREOF SHALL COMPLY WITH SECTIONS R502, R503 OR R504. UNALTERED PORTIONS OF THE EXISTING BUILDING OR BUILDING SUPPLY SYSTEM SHALL NOT BE REQUIRED TO COMPLY WITH THIS CODE.

BUILDING ENVELOPE ASSEMBLIES THAT ARE PART OF THE ALTERATIONS SHALL COMPLY WITH SECTION R402.1.1 OR R402.1.4, SECTIONS R402.2.1 THROUGH R402.2.11, R402.3.1, R402.3.2, R402.4.3 AND R402.4.4.

WHERE SOME OR ALL OF AN EXISTING FENESTRATION UNIT IS REPLACED WITH A NEW FENESTRATION PRODUCT, INCLUDING SASH AND GLAZING, THE REPLACEMENT FENESTRATION UNIT SHALL MEET THE APPLICABLE REQUIREMENTS FOR U-FACTOR AND SHGC IN TABLE R402.1.1.

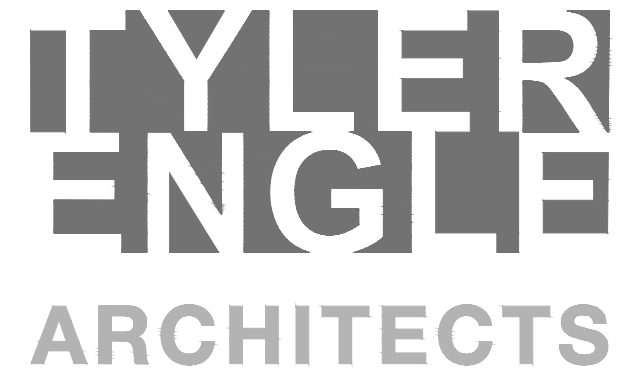
NEW HEATING, COOLING AND DUCT SYSTEMS THAT ARE PART OF THE ALTERATION SHALL COMPLY WITH SECTION R403.

NEW SERVICE HOT WATER SYSTEMS THAT ARE PART OF THE ALTERATION SHALL COMPLY WITH SECTION R403.5.

FIRE PROTECTION

A NFPA 13D FIRE SPRINKLER SYSTEM IN COMPLIANCE WITH NFPA 13D AND CITY OF MERCER ISLAND STANDARDS SHALL BE INSTALLED THROUGHOUT THE RESIDENCE. A SEPARATE FIRE PERMIT IS REQUIRED. THE SYSTEM REQUIRES A MINIMUM OF 1" WATER METER AND 1" WATER SUPPLY LINE.

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR THE FIRE PROTECTION SYSTEMS THROUGH THE CITY OF MERCER ISLAND FOR APPROVAL PRIOR TO INSTALLATION.



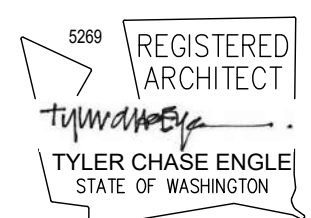
2126 Westlake Ave. Seattle, WA 98121
 206.621.7150 tylerengle.com

PROJECT TITLE: **VANDENBELT RESIDENCE** JOB NUMBER: **2112**

4153 BOULEVARD PLACE
 MERCER ISLAND, WA 98040

ISSUE / REVISIONS	DATE
PERMIT SUBMITTAL	09.01.2023
PERMIT INTAKE 2	10.17.2023

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DEDICATED APPROVAL STAMP SPACE

DRAWING TITLE: **PROJECT DATA, NOTES & CODE COMPLIANCE**

DRAWN / CHECKED BY: **J. TUNG**
 CHECKED BY: **J. TUNG, T. ENGLE**

DATE: **10.11.2023**

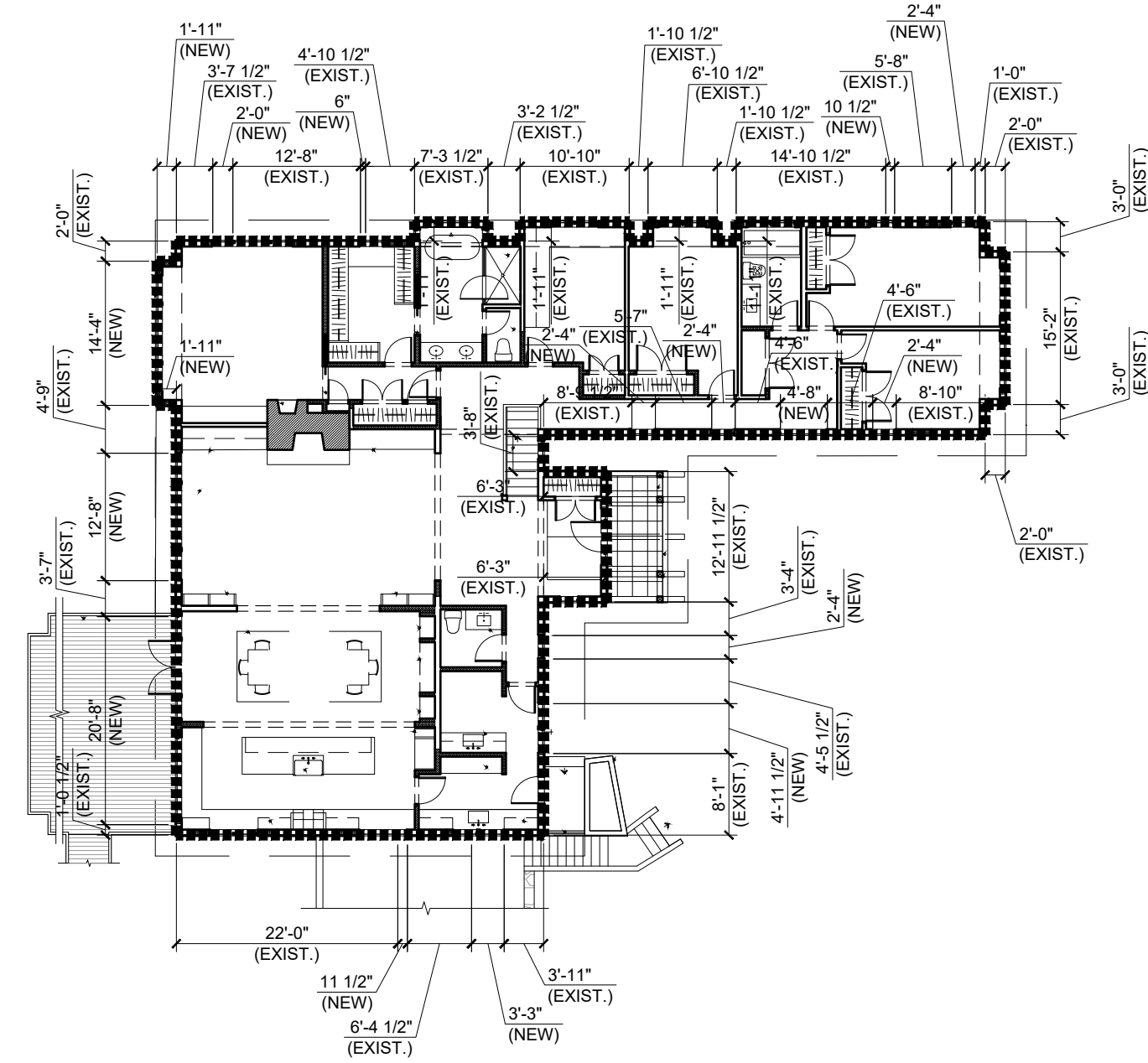
SHEET NUMBER

A0.1

COMPLIANCE DIAGRAM FOR MICC 19.01.050(D)(1)(b)(i)

PER MICC 19.01.050(D)(1)(b): "A LEGALLY NONCONFORMING DETACHED SINGLE-FAMILY DWELLING MAY BE INTENTIONALLY ALTERED OR ENLARGED WITHOUT LOSING ITS LEGAL NONCONFORMING STATUS AS LONG AS NO MORE THAN 40 PERCENT OF THE LENGTH OF THE DWELLING'S EXISTING EXTERIOR WALLS, EXCLUDING ATTACHED ACCESSORY BUILDINGS, IS STRUCTURALLY ALTERED."

THE DIAGRAM BELOW INDICATES THE PORTIONS OF THE EXTERIOR WALL WHICH ARE STRUCTURALLY EXISTING (LABELED "EXIST.") AND WHICH ARE STRUCTURALLY ALTERED (LABELED "NEW").



COMPLIANCE CALCULATION FOR MICC 19.01.050(D)(1)(b)(i)

TOTAL EXTERIOR WALL LENGTH = 296'-4"

TOTAL STRUCTURALLY ALTERED (NEW) EXTERIOR WALL LENGTH (CLOCKWISE STARTING FROM NW CORNER) = 1'-11" + 2'-0" + 6" + 10 1/2" + 2'-4" + 2'-4" + 4'-8" + 2'-4" + 2'-4" + 2'-4" + 4'-11 1/2" + 3'-3" + 11 1/2" + 20'-8" + 12'-8" + 1'-11" + 14'-4" = 80'-4 1/2"

TOTAL STRUCTURALLY ALTERED (NEW) EXTERIOR WALL LENGTH RATIO = 80'-4 1/2" / 296'-4" = 27.1% (LESS THAN 40%, COMPLIES)

LANDSCAPING PLAN

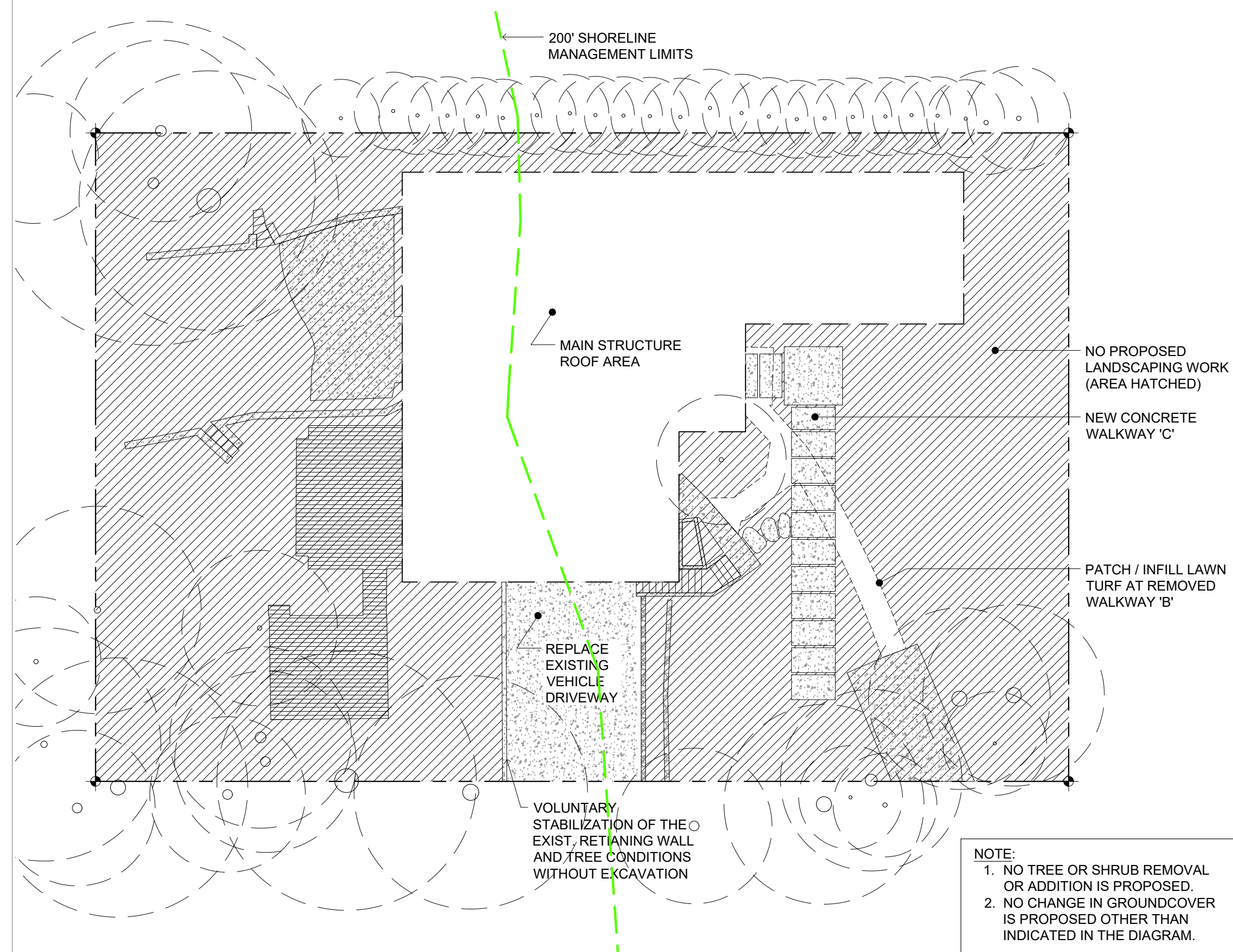


DIAGRAM - CRITICAL AREA - SEISMIC

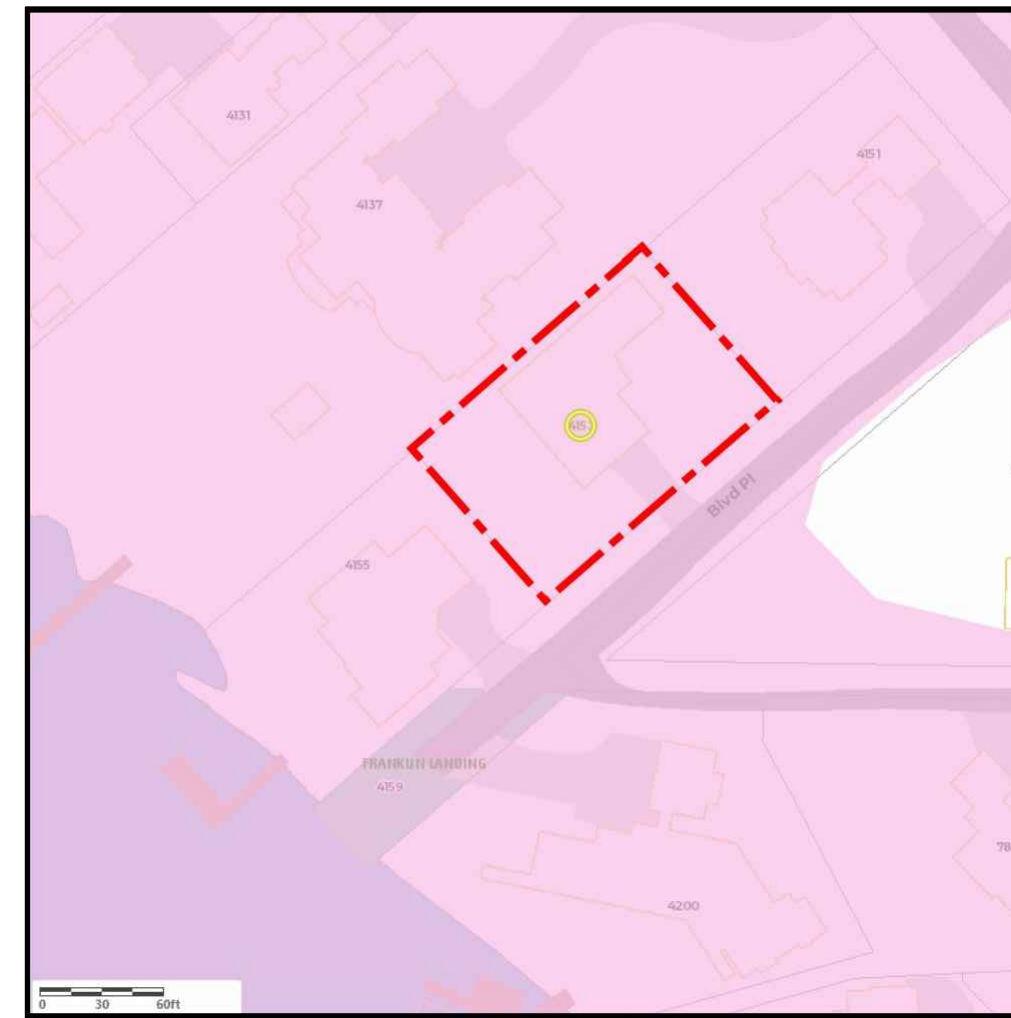


DIAGRAM - CRITICAL AREA - EROSION

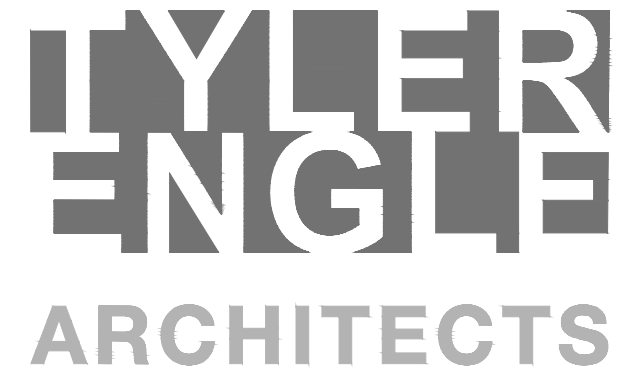


DIAGRAM - CRITICAL AREA - SLIDE



COMPLIANCE NOTES FOR MICC 19.07.130

MICC 19.07.130 CODE EXCERPT	COMPLIANCE
ACTIVITIES OF THE FOLLOWING TYPES MAY BE AUTHORIZED WITH APPROVAL OF AN APPLICATION FOR A CRITICAL AREA REVIEW 1. THE ACTIVITIES IN THIS SECTION ARE EXEMPT FROM THE DEVELOPMENT STANDARDS IN SUBSEQUENT SECTIONS WITHIN THIS CHAPTER, PROVIDED, THAT ADDITIONAL MEASURES TO PROTECT LIFE AND PROPERTY OR TO PROTECT ENVIRONMENTAL QUALITY MAY BE REQUIRED.	THE STRUCTURE IS AN EXISTING AND LEGAL STRUCTURE WITHIN THE CRITICAL AREA AND THE 10' BUFFER SETBACK (REFER TO SHEET A0.3) ESTABLISHED ON OR BEFORE JANUARY 1, 2005. <u>COMPLIES.</u>
A. ADDITION TO OR RECONSTRUCTION OF AN EXISTING LEGALLY ESTABLISHED STRUCTURE OR BUILDING WITHIN A CRITICAL AREA AND/OR BUFFER CONSTRUCTION ON OR BEFORE JANUARY 1, 2005, PROVIDED THE FOLLOWING CRITERIA ARE MET:	
1. THE SEASONAL LIMITATIONS ON LAND CLEARING, GRADING, FILLING, AND FOUNDATION WORK DESCRIBED IN SECTION 19.07.160(F)(2) SHALL APPLY.	THE APPLICANT WILL COMPLY WITH SECTION 19.07.160(F)(2). REFER TO COMPLIANCE NOTE ON SHEET A0.1. <u>COMPLIES.</u>
2. ADDITIONS SHALL BE ALLOWED IF ALL OF THE FOLLOWING CRITERIA ARE MET:	THE STRUCTURE IS NOT PROPOSED TO BE ENLARGED MORE THAN A CUMULATIVE TOTAL OF 200 SQUARE FEET LARGER THAN ITS FOOTPRINT AS OF JANUARY 1, 2005. <u>COMPLIES.</u>
a. THE STRUCTURE IS ENLARGED NOT MORE THAN A CUMULATIVE TOTAL OF 200 SQUARE FEET LARGER THAN ITS FOOTPRINT AS OF JANUARY 1, 2005;	
b. IF THE EXISTING, LEGALLY ESTABLISHED STRUCTURE IS LOCATED OVER OR WITHIN A WETLAND OR WATERCOURSE, NO FURTHER EXPANSION WITHIN THE WETLAND OR WATERCOURSE IS ALLOWED;	NOT APPLICABLE. <u>COMPLIES.</u>
c. IF THE EXISTING LEGALLY ESTABLISHED STRUCTURE IS LOCATED WITHIN A WETLAND OR WATERCOURSE BUFFER, THE ADDITION MAY BE NO CLOSER TO THE WETLAND OR WATERCOURSE THAN A DISTANCE EQUAL TO 75 PERCENT OF THE APPLICABLE STANDARD BUFFER AND MUST ALSO BE NO CLOSER TO THE WATERCOURSE OR WETLAND THAN THE EXISTING STRUCTURE;	THE PROPOSED ADDITION IS NO CLOSER TO THE WETLAND OR WATERCOURSE THAN A DISTANCE EQUAL TO 75 PERCENT OF THE APPLICABLE STANDARD BUFFER AND NO CLOSER TO THE WATERCOURSE OR WETLAND THAN THE EXISTING STRUCTURE. <u>COMPLIES.</u>
d. A CRITICAL AREA STUDY APPROVED BY THE CITY DEMONSTRATES THAT IMPACTS HAVE BEEN AVOIDED OR MINIMIZED AND MITIGATED CONSISTENT WITH SECTION 19.07.100, MITIGATION SEQUENCING;	THE GEOTECH REPORT WITH CRITICAL AREA STUDY IS SUBMITTED WITH THIS APPLICATION. <u>COMPLIES.</u>
e. IF THE MODIFICATION OR ADDITION IS PROPOSED WITHIN A GEOLOGICALLY HAZARDOUS AREA OR ASSOCIATED BUFFER, A QUALIFIED PROFESSIONAL PROVIDES A STATEMENT OF RISK CONSISTENT WITH SECTION 19.07.160(B)(3).	THE GEOTECH REPORT IS SUBMITTED WITH A STATEMENT OF RISK WITH THIS APPLICATION. <u>COMPLIES.</u>
3. RECONSTRUCTION OF LEGALLY ESTABLISHED NONCONFORMING STRUCTURES SHALL MEET THE STANDARDS IN SECTION 19.01.050. THE CODE OFFICIAL MAY REQUIRE A CRITICAL AREA STUDY AND MITIGATION PLAN ADDRESSING TEMPORARY IMPACTS TO CRITICAL AREAS AND BUFFERS.	THE RETAINING WALL STRUCTURE WITHIN THE 10' BUFFER SETBACK (REFER TO SHEET A0.3) IS NOT A NONCONFORMING STRUCTURE. <u>COMPLIES.</u>
4. DEMOLITION, REMOVAL OF STRUCTURES IN WATERCOURSE AND WETLAND BUFFERS AND GEOLOGICALLY HAZARDOUS AREAS, PROVIDED:	SITE DISTURBANCE IS LIMITED TO THE EXISTING ACCESS AND BUILDING FOOTPRINT (REFER TO SHEET A0.3). <u>COMPLIES.</u>
a. SITE DISTURBANCE IS LIMITED TO THE EXISTING ACCESS AND BUILDING FOOTPRINT;	
b. THERE IS NO SITE DISTURBANCE WITHIN OR TO WETLANDS OR WATERCOURSES;	NO PROPOSED SITE DISTURBANCE WITHIN OR TO WETLANDS OR WATERCOURSES. <u>COMPLIES.</u>
c. ALL SOILS ARE STABILIZED AND THE AREA IS REVEGETATED WITH APPROPRIATE NATIVE VEGETATION; AND	NO DISTURBANCE IS PROPOSED EXCEPT TO THE EXISTING HARDSCAPE. <u>COMPLIES.</u>
d. NECESSARY BUILDING PERMITS ARE OBTAINED.	THIS APPLICATION SEEKS THE BUILDING PERMIT. <u>COMPLIES.</u>
B. RESTORATION AND ENHANCEMENT ACTIVITIES INVOLVING SITE DISTURBANCE OVER 1,000 SQUARE FEET, PROVIDED THE FOLLOWING CRITERIA ARE MET:	NO DISTURBANCE OVER 1,000 SQUARE FEET IS PROPOSED. REFER TO SHEET A0.0 AND A0.3. <u>COMPLIES.</u>
1. EROSION CONTROL MEASURES ARE IMPLEMENTED WHEN SOILS HAVE BEEN DISTURBED.	
2. GROUND COVER VOIDS THAT RESULT FROM THE REMOVAL OF NOXIOUS WEEDS SHALL BE REVEGETATED WITH REGIONAL NATIVE PLANTS.	
3. REMOVAL OF NOXIOUS WEEDS AND OTHER RESTORATION WORK SHALL BE UNDERTAKEN WITH HAND LABOR, INCLUDING HANDHELD MECHANICAL TOOLS, UNLESS THE KING COUNTY NOXIOUS WEED CONTROL BOARD BEST MANAGEMENT PRACTICE SPECIFICALLY PRESCRIBES THE USE OF RIDING MOWER, LIGHT MECHANICAL CULTIVATING EQUIPMENT, OR HERBICIDE OR BIOLOGICAL CONTROL METHODS; AND	
4. HERBICIDE USE IS IN ACCORDANCE WITH FEDERAL AND STATE LAW.	
C. STORM WATER RETROFIT FACILITIES INSTALLED PURSUANT TO THE CITY'S NPDES PHASE II PERMIT.	NO CHANGES TO THE STORM WATER FACILITIES IS PROPOSED WITH THIS APPLICATION. <u>COMPLIES.</u>
D. ANY PRUNING SHALL NOT BE DETRIMENTAL TO TREE HEALTH AND SHALL BE CONSISTENT WITH INTERNATIONAL SOCIETY OF ARBORICULTURE STANDARDS AND COMPLETED UNDER THE SUPERVISION OF A QUALIFIED ARBORIST.	NO PRUNING IS PROPOSED WITH THIS PERMIT APPLICATION. <u>COMPLIES.</u>



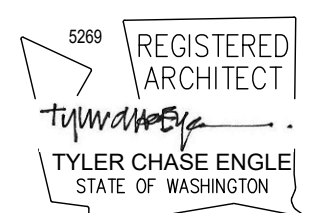
2126 Westlake Ave. Seattle, WA 98121
206.621.7150 tylerengle.com

PROJECT TITLE: VANDENBELT RESIDENCE
JOB NUMBER: 2112

4153 BOULEVARD PLACE
MERCER ISLAND, WA 98040

ISSUE / REVISIONS DATE
PERMIT SUBMITTAL 09.01.2023
PERMIT INTAKE 2 10.17.2023

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DEDICATED APPROVAL STAMP SPACE

DRAWING TITLE
PROJECT DATA, NOTES & CODE COMPLIANCE

DRAWN / CHECKED BY: J. TUNG
CHECKED BY: J. TUNG, T. ENGLE

DATE
10.11.2023

SHEET NUMBER
A0.2

TREE NOTES

1. ALL EXCEPTIONAL TREE SHALL BE PROTECTED.
2. TREE PROTECTION SHALL BE PROVIDED PER M.I. CODE.
3. NO TREES SHALL BE REMOVED.
4. VOLUNTARY STABILIZATION OF THE EXISTING RETAINING WALL AND TREE SHALL BE PERFORMED WITHOUT EXCAVATION.

STORMWATER / CIVIL NOTES

1. THE NET INCREASE OF HARDSCAPE SURFACE IS 158 SF (422 SF NEW WALKING PATH PAVING MINUS 264 SF EXISTING WALKING PATH PAVING REMOVAL).
2. ALL ROOFING REPLACEMENT SHALL BE INSTALLED OVER THE EXISTING STRUCTURE WITH MINOR STRUCTURAL ALTERATION. NO EXPANSION OF ROOF AREA IS PROPOSED.
3. ALL NEW DOWNSPOUTS SHALL BE CONNECTED TO EXISTING STORMWATER DRAINAGE SYSTEM. NO CHANGE TO EXISTING TIGHTLINE DRAINAGE AND STORMWATER SYSTEM IS PROPOSED.
4. NO EXCAVATION IS PROPOSED.
5. NO MODIFICATION TO EXISTING ROCKERY WALLS IS PROPOSED.
6. VOLUNTARY STABILIZATION OF THE EXISTING RETAINING WALL AND TREE SHALL BE PERFORMED WITHOUT EXCAVATION.
7. DRAINAGE REVIEW IS NOT REQUIRED BASED ON CRITERIA AND FEEDBACK PROVIDED PER M.I. PRE-APPLICATION:
 - 7.1. THE PROJECT DOES NOT RESULT IN 2,000 SQ. FT., OR GREATER, OF NEW PLUS REPLACE HARD SURFACE AREA.
 - 7.2. THE PROJECT DOES NOT HAVE LAND DISTURBING ACTIVITY OF 7,000 SQ. FT. OR GREATER.
 - 7.3. THE PROJECT DOES NOT RESULT IN A NET INCREASE OF HARDSCAPE SURFACE OF 500 SQ. FT. OR GREATER.

LAND USE & BUILDING NOTES

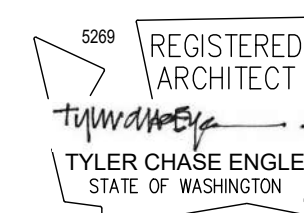
1. REFER TO SHEET A.0.0 AND A.0.1 FOR THE FOLLOWING CALCULATIONS AND DIAGRAMS:
 - 1.1. LOT SLOPE
 - 1.2. LOT COVERAGE
 - 1.3. HARDSCAPE
 - 1.4. GROSS FLOOR AREA
 - 1.5. BUILDING HEIGHT
 - 1.6. BASEMENT FLOOR AREA
 - 1.7. AVERAGE BUILDING ELEVATION
2. REFER TO SITE PLAN FOR ZONING SETBACKS PER MERCER ISLAND CITY CODE.
3. NO INCREASE TO THE EXISTING BUILDING HEIGHT IS PROPOSED.
4. REFER TO GEOTECHNICAL REPORT FOR CRITICAL AREA STUDY AND THE STATEMENT OF MINIMUM RISK.
5. NO DEVELOPMENT IS PROPOSED WITHIN 50-FEET OF THE ORDINARY HIGH WATER MARK (OHWM).
6. THE PROPOSED SCOPE OF WORK IS EXEMPT FROM STATE ENVIRONMENTAL POLICY ACT (SEPA) REVIEW PURSUANT TO WAC 197-11-800.
7. NO STRUCTURE IS PROPOSED OR SHALL BE CONSTRUCTED ON OR OVER ANY EASEMENT FOR WATER, SEWER, STORM DRAINAGE, UTILITIES, TRAIL OR OTHER PUBLIC PURPOSES UNLESS IT IS PERMITTED WITHIN THE LANGUAGE OF THE EASEMENT OR IS MUTUALLY AGREED IN WRITING BETWEEN THE GRANTEE AND GRANTOR OF THE EASEMENT.
8. REFER TO ROOF PLAN FOR THE PROPOSED VENTED AND UNVENTED ROOF AREAS

SITE PLAN LEGEND

- PROPERTY LINE
- - - SETBACK LINE
- - - EXISTING CONTOUR
- - - LINE OF ROOF ABOVE
- - - PROTECTION FENCE
- - - SEWER LINE
- - - WATER LINE
- - - STORM DRAINAGE LINE
- ▨ STEEP SLOPE ECA
- ▨ AREA OF PROPOSED ADDITION
- ▨ AREA OF PROPOSED DEMOLITION
- EXISTING TREE, SYMBOL INDICATES EXTENT OF DRIPLINE
- UTILITY POLE
- EXISTING WATER METER

ISSUE / REVISIONS	DATE
PRE APP SITE PLAN	08.01.2022
PERMIT INTAKE2	10.17.2023

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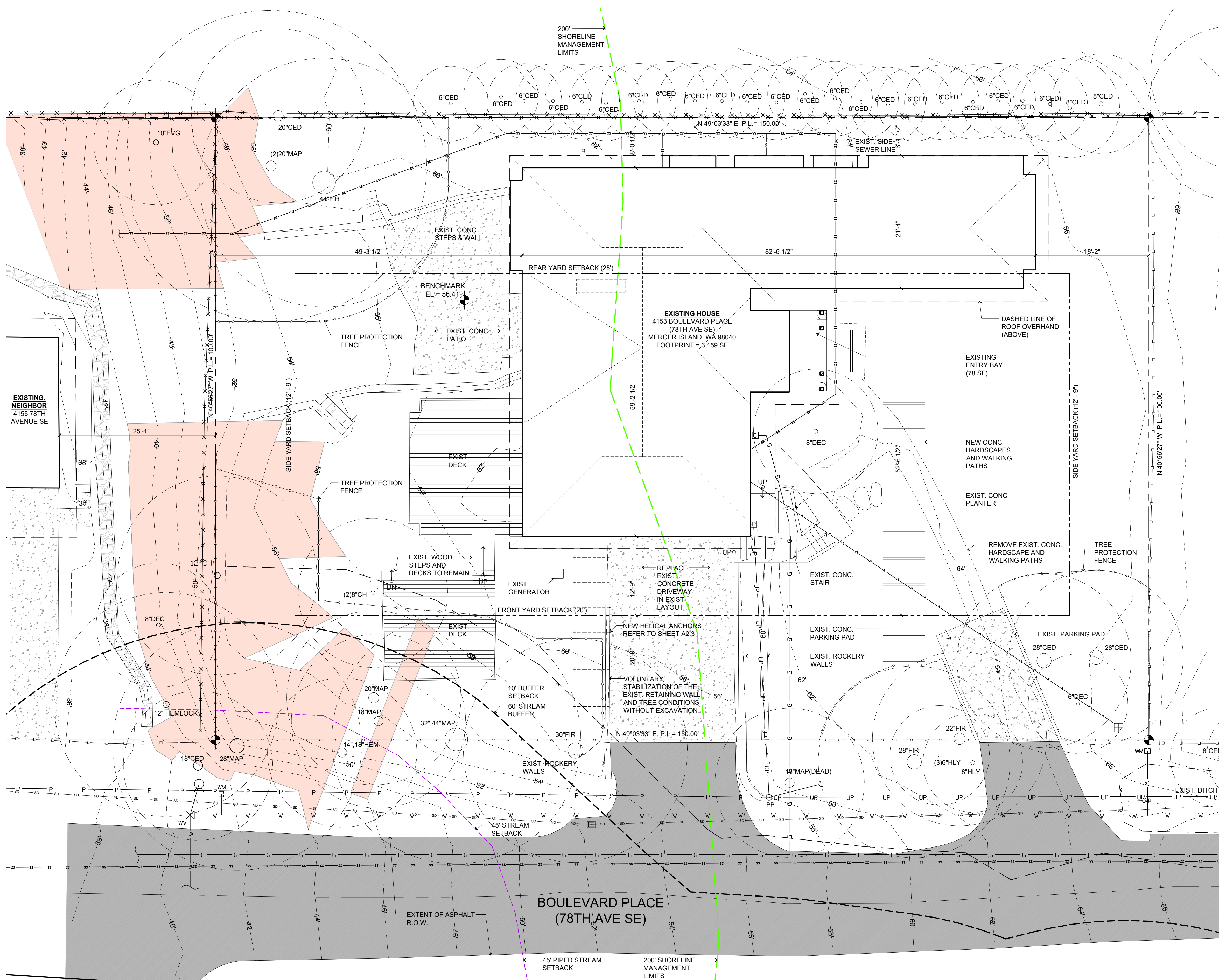


DEDICATED APPROVAL STAMP SPACE

DRAWING TITLE
SITE PLAN

DRAWN / CHECKED BY
DRAWN BY: J. TUNG, T. COOPER
CHECKED BY: J. TUNG, T. ENGLE

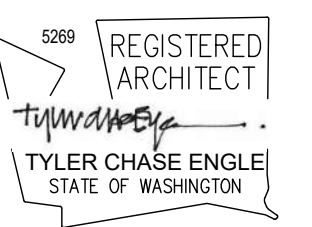
DATE: **10.11.2023** SHEET NUMBER: **A0.3**



1 SITE PLAN
SCALE: 1/8" = 1'-0"

ISSUE / REVISIONS	DATE
PRE APP SITE PLAN	08.01.2022
PERMIT SUBMITTAL	09.01.2023
PERMIT INTAKE 2	10.17.2023

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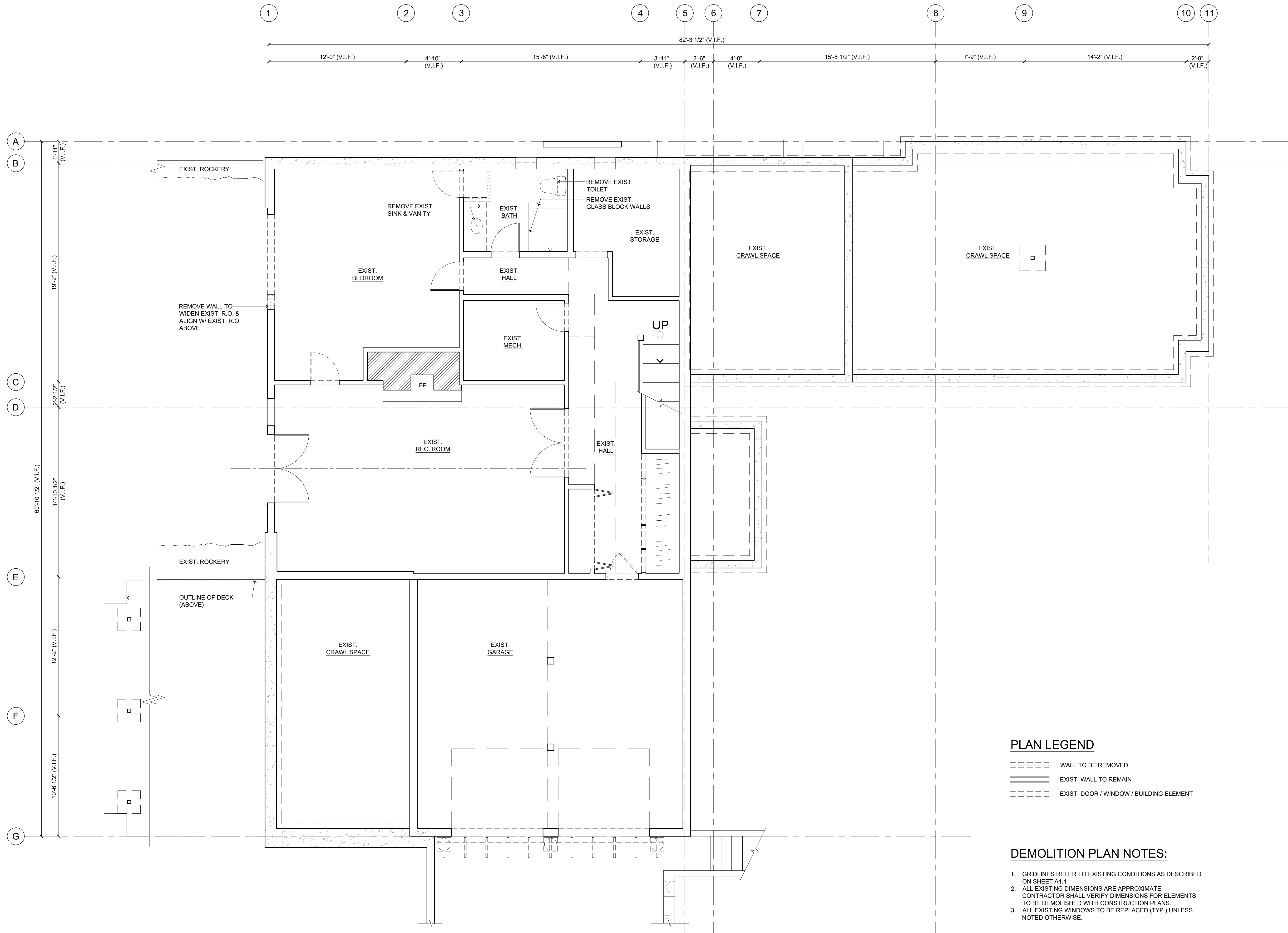


DEDICATED APPROVAL STAMP SPACE

DRAWING TITLE: **LOWER LEVEL DEMOLITION PLAN**

DRAWN / CHECKED BY: S. VIDYARTHI
CHECKED BY: J. TUNG, T. ENGLE

DATE: **10.11.2023** SHEET NUMBER: **A0.4**



1 LOWER LEVEL DEMOLITION PLAN
SCALE: 1/4" = 1'-0"
0 5 10

PLAN LEGEND

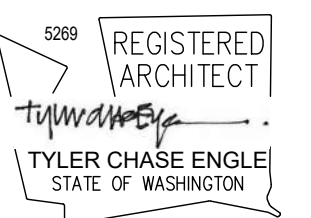
- WALL TO BE REMOVED
- EXIST. WALL TO REMAIN
- · - · - EXIST. DOOR / WINDOW / BUILDING ELEMENT

DEMOLITION PLAN NOTES:

1. GRIDLINES REFER TO EXISTING CONDITIONS AS DESCRIBED ON SHEET A1.1
2. ALL EXISTING DIMENSIONS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY DIMENSIONS FOR ELEMENTS TO BE DEMOLISHED WITH CONSTRUCTION PLANS.
3. ALL EXISTING WINDOWS TO BE REPLACED (TYP.) UNLESS NOTED OTHERWISE.

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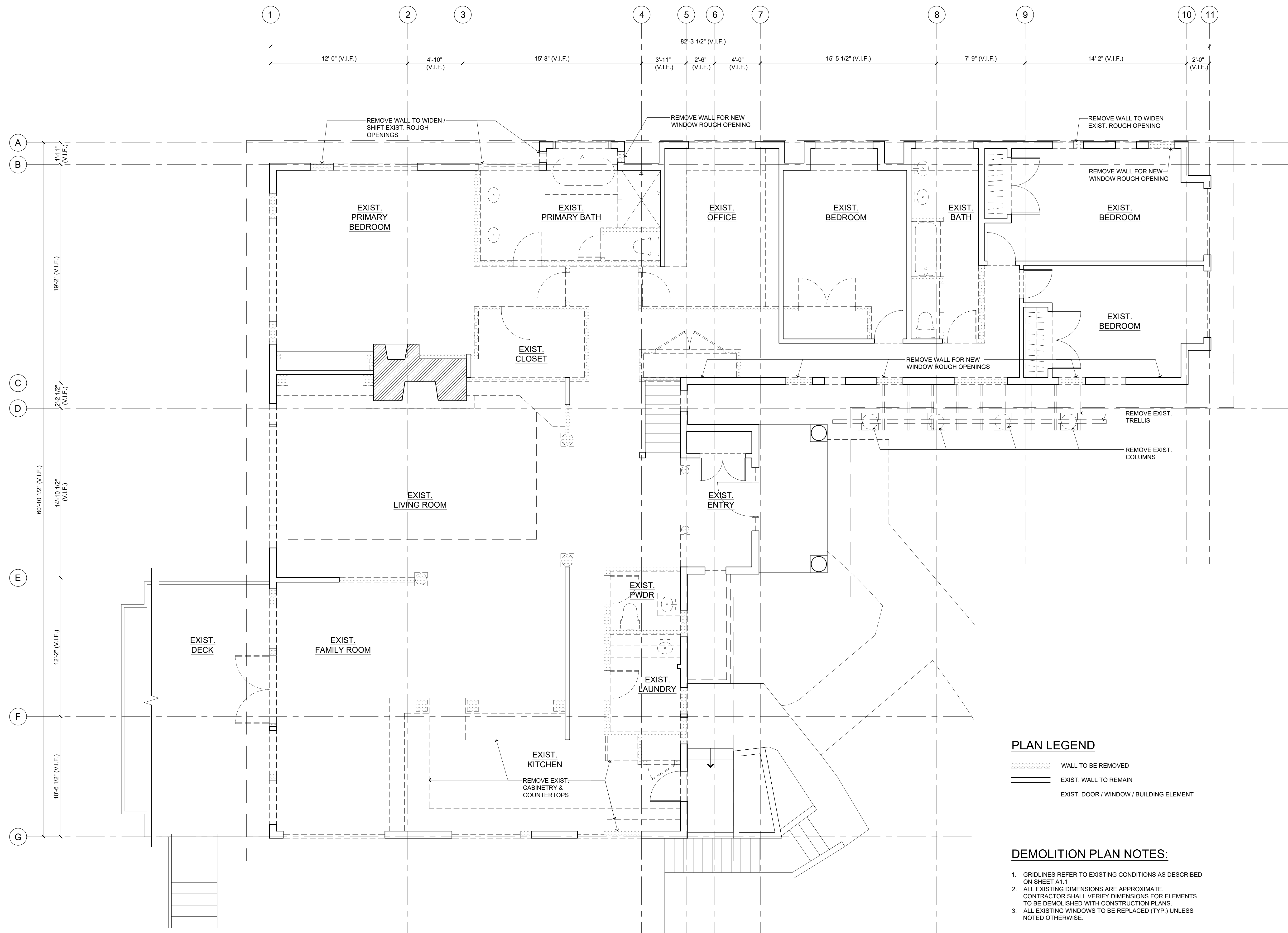
DEDICATED APPROVAL STAMP SPACE

DRAWING TITLE:
MAIN LEVEL DEMOLITION PLAN

DRAWN / CHECKED BY:
DRAWN BY: S. VIDYARTHI
CHECKED BY: J. TUNG, T. ENGLE

DATE:
10.11.2023

SHEET NUMBER:
A0.5



PLAN LEGEND

- WALL TO BE REMOVED
- EXIST. WALL TO REMAIN
- EXIST. DOOR / WINDOW / BUILDING ELEMENT

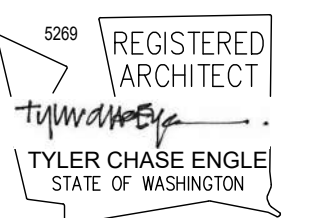
DEMOLITION PLAN NOTES:

1. GRIDLINES REFER TO EXISTING CONDITIONS AS DESCRIBED ON SHEET A1.1
2. ALL EXISTING DIMENSIONS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY DIMENSIONS FOR ELEMENTS TO BE DEMOLISHED WITH CONSTRUCTION PLANS.
3. ALL EXISTING WINDOWS TO BE REPLACED (TYP.) UNLESS NOTED OTHERWISE.

1 MAIN LEVEL DEMOLITION PLAN
SCALE: 1/4" = 1'-0"
0 5 10

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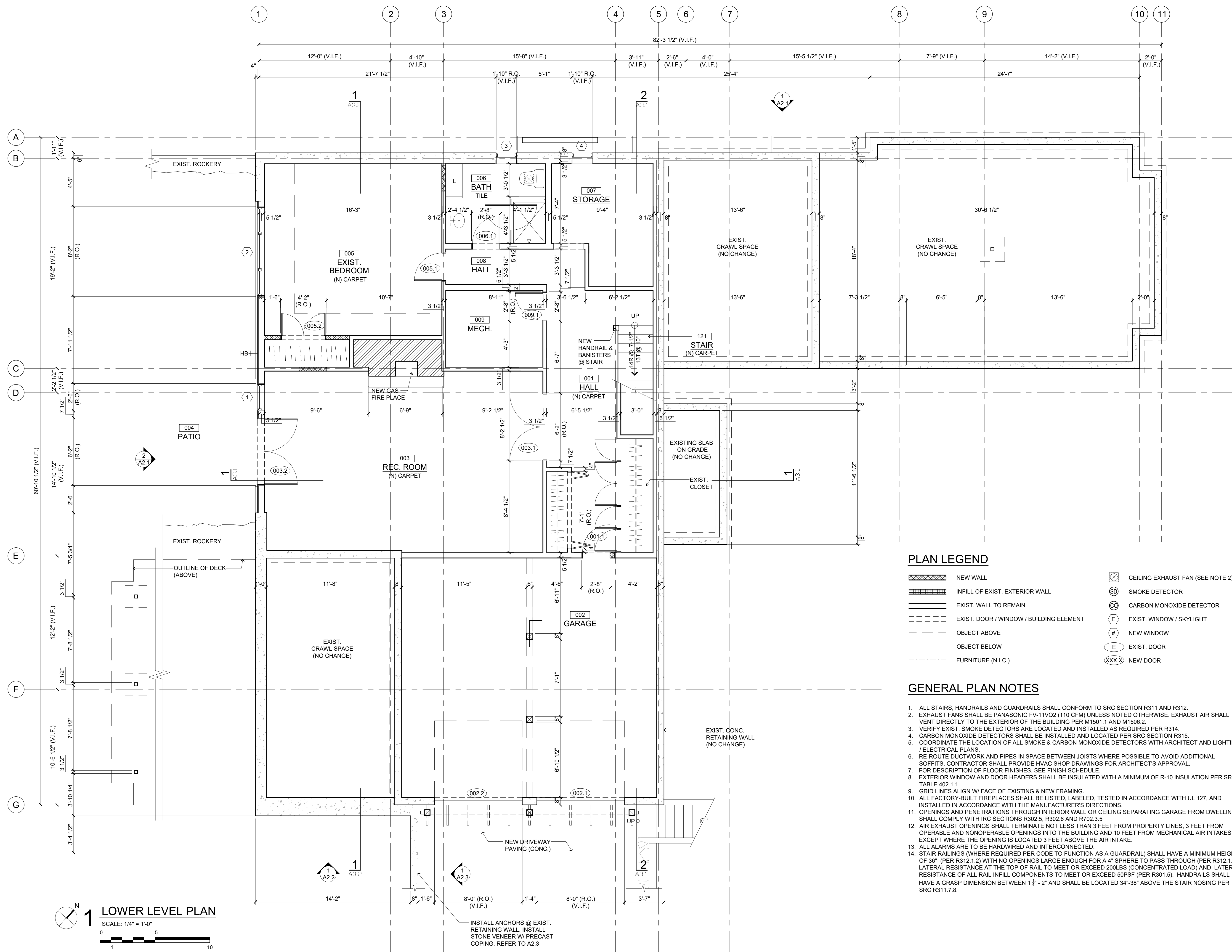


DEDICATED APPROVAL STAMP SPACE

DRAWING TITLE: **LOWER LEVEL PLAN**

DRAWN / CHECKED BY: **S. VIDYARTHI**
CHECKED BY: **J. TUNG, T. ENGLE**

DATE: **10.11.2023** SHEET NUMBER: **A1.1**

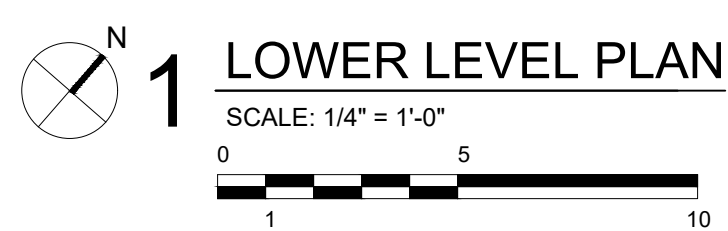


PLAN LEGEND

- NEW WALL
- INFILL OF EXIST. EXTERIOR WALL
- EXIST. WALL TO REMAIN
- EXIST. DOOR / WINDOW / BUILDING ELEMENT
- OBJECT ABOVE
- OBJECT BELOW
- FURNITURE (N.I.C.)
- CEILING EXHAUST FAN (SEE NOTE 2)
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- EXIST. WINDOW / SKYLIGHT
- NEW WINDOW
- EXIST. DOOR
- NEW DOOR

GENERAL PLAN NOTES

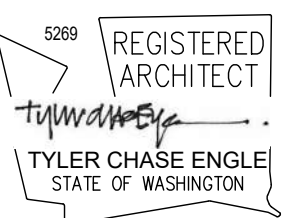
- ALL STAIRS, HANDRAILS AND GUARDRAILS SHALL CONFORM TO SRC SECTION R311 AND R312.
- EXHAUST FANS SHALL BE PANASONIC FV-11VQ2 (110 CFM) UNLESS NOTED OTHERWISE. EXHAUST AIR SHALL VENT DIRECTLY TO THE EXTERIOR OF THE BUILDING PER M1501.1 AND M1506.2.
- VERIFY EXIST. SMOKE DETECTORS ARE LOCATED AND INSTALLED AS REQUIRED PER R314.
- CARBON MONOXIDE DETECTORS SHALL BE INSTALLED AND LOCATED PER SRC SECTION R315.
- COORDINATE THE LOCATION OF ALL SMOKE & CARBON MONOXIDE DETECTORS WITH ARCHITECT AND LIGHTING / ELECTRICAL PLANS.
- RE-ROUTE DUCTWORK AND PIPES IN SPACE BETWEEN JOISTS WHERE POSSIBLE TO AVOID ADDITIONAL SOFFITS. CONTRACTOR SHALL PROVIDE HVAC SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
- FOR DESCRIPTION OF FLOOR FINISHES, SEE FINISH SCHEDULE.
- EXTERIOR WINDOW AND DOOR HEADERS SHALL BE INSULATED WITH A MINIMUM OF R-10 INSULATION PER SREC TABLE 402.1.
- GRID LINES ALIGN W/ FACE OF EXISTING & NEW FRAMING.
- ALL FACTORY-BUILT FIREPLACES SHALL BE LISTED, LABELED, TESTED IN ACCORDANCE WITH UL 127, AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS.
- OPENINGS AND PENETRATIONS THROUGH INTERIOR WALL OR CEILING SEPARATING GARAGE FROM DWELLING SHALL COMPLY WITH IRC SECTIONS R302.5, R302.6 AND R702.3.5
- AIR EXHAUST OPENINGS SHALL TERMINATE NOT LESS THAN 3 FEET FROM PROPERTY LINES, 3 FEET FROM OPERABLE AND NONOPERABLE OPENINGS INTO THE BUILDING AND 10 FEET FROM MECHANICAL AIR INTAKES EXCEPT WHERE THE OPENING IS LOCATED 3 FEET ABOVE THE AIR INTAKE.
- ALL ALARMS ARE TO BE HARDWIRED AND INTERCONNECTED.
- STAIR RAILINGS (WHERE REQUIRED PER CODE TO FUNCTION AS A GUARDRAIL) SHALL HAVE A MINIMUM HEIGHT OF 36" (PER R312.1.2) WITH NO OPENINGS LARGE ENOUGH FOR A 4" SPHERE TO PASS THROUGH (PER R312.1.3). LATERAL RESISTANCE AT THE TOP OF RAIL TO MEET OR EXCEED 200LBS (CONCENTRATED LOAD) AND LATERAL RESISTANCE OF ALL RAIL INFILL COMPONENTS TO MEET OR EXCEED 50PSF (PER R301.5). HANDRAILS SHALL HAVE A GRASP DIMENSION BETWEEN 1 1/2" - 2" AND SHALL BE LOCATED 34"-38" ABOVE THE STAIR NOSING PER SRC R311.7.8.



INSTALL ANCHORS @ EXIST. RETAINING WALL. INSTALL STONE VENEER W/ PRECAST COPING. REFER TO A2.3

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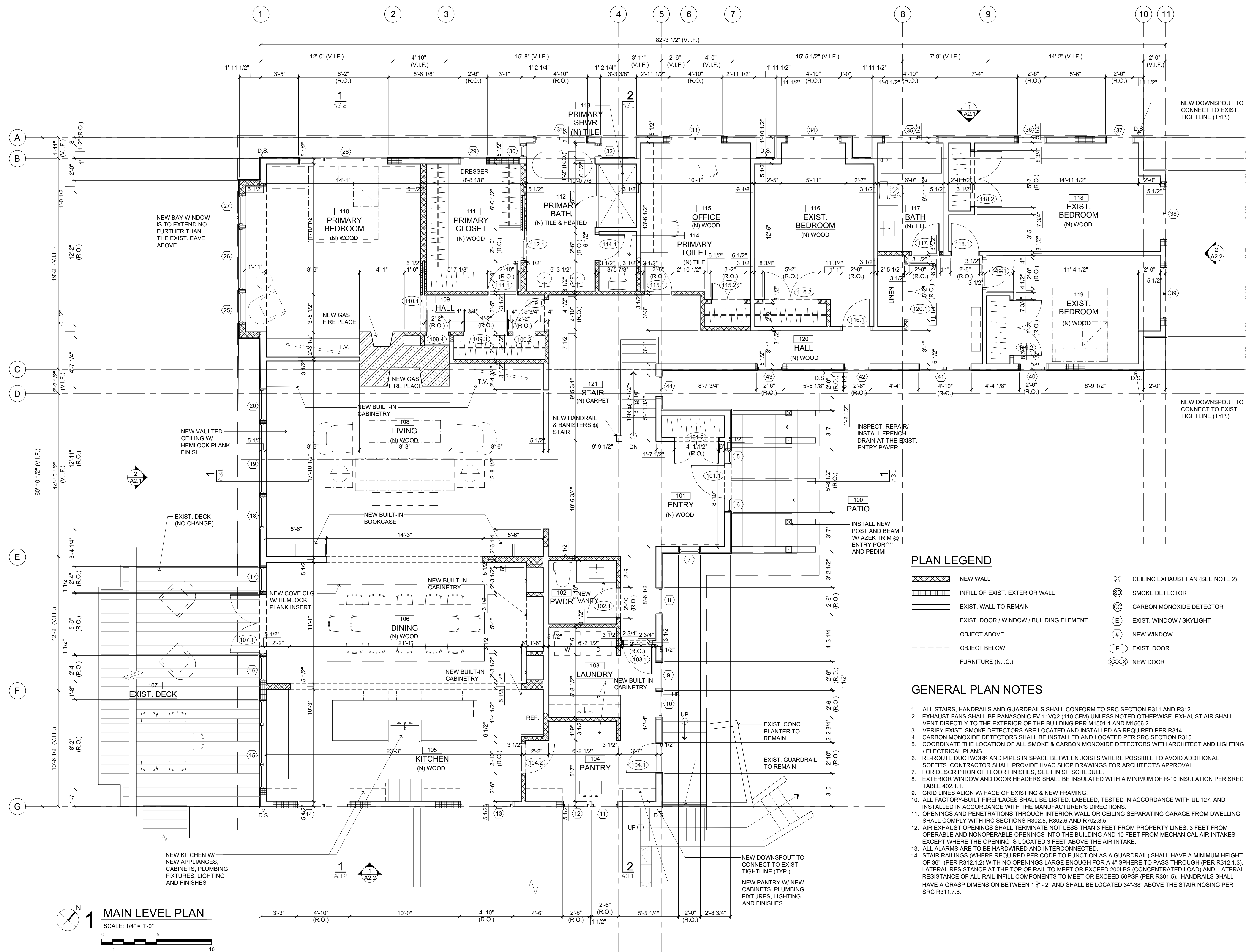


DEDICATED APPROVAL STAMP SPACE

DRAWING TITLE:
MAIN LEVEL PLAN

DRAWN / CHECKED BY:
DRAWN BY: S. VIDYARTHI
CHECKED BY: J. TUNG, T. ENGLE

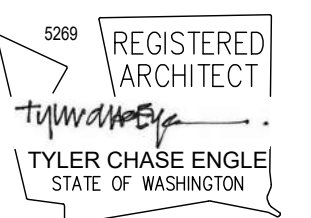
DATE: **10.11.2023** SHEET NUMBER: **A1.2**



1 MAIN LEVEL PLAN
SCALE: 1/4" = 1'-0"
0 5 10

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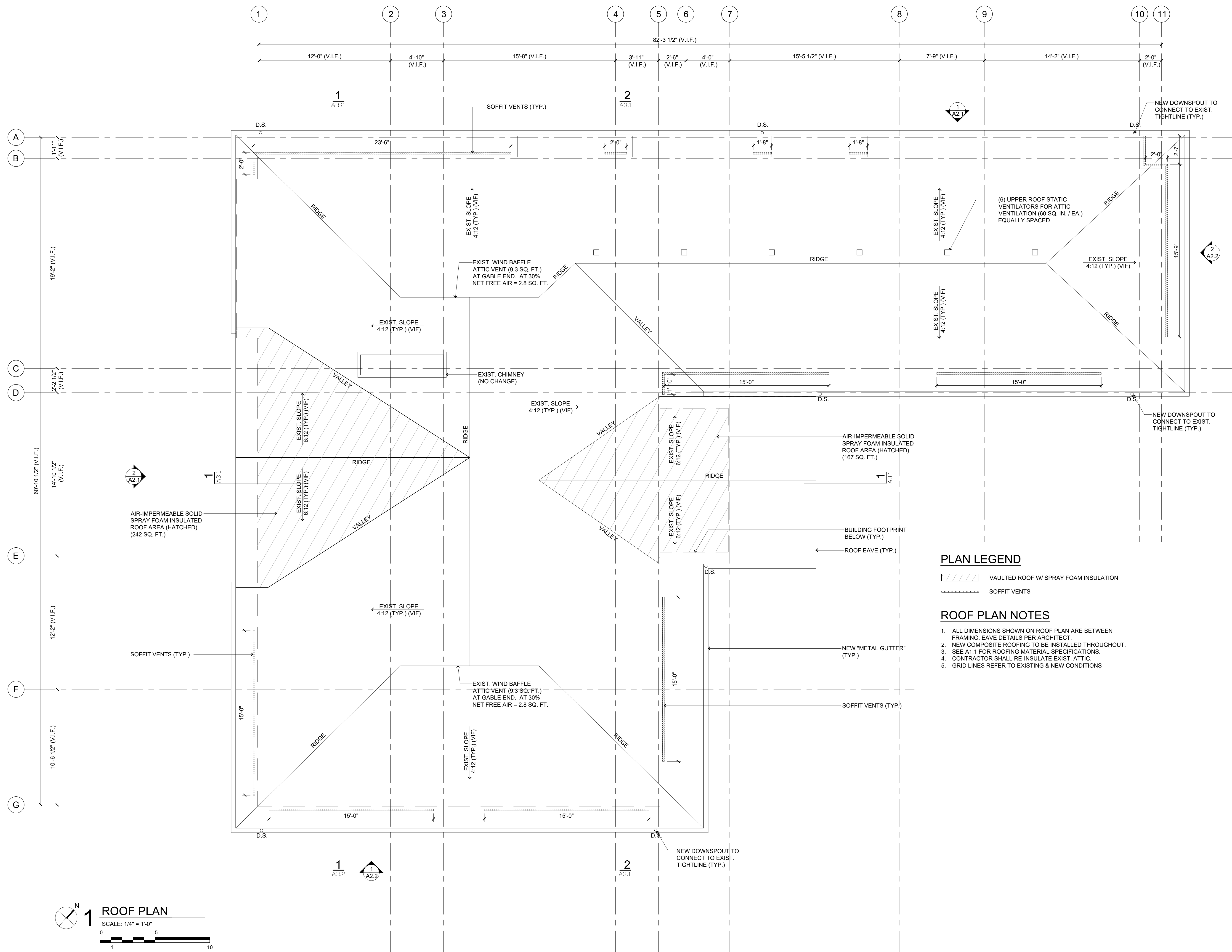


DEDICATED APPROVAL STAMP SPACE

DRAWING TITLE:
ROOF PLAN

DRAWN / CHECKED BY:
DRAWN BY: S. VIDYARTHI
CHECKED BY: J. TUNG, T. ENGLE

DATE: **10.11.2023** SHEET NUMBER: **A1.3**

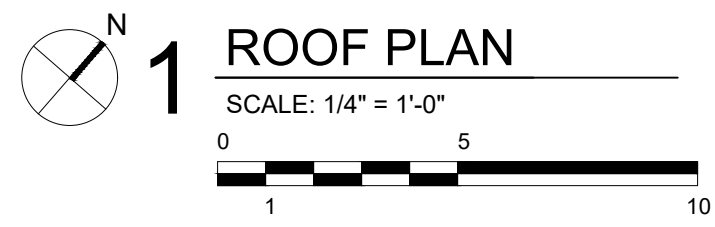


PLAN LEGEND

- VAULTED ROOF W/ SPRAY FOAM INSULATION
- SOFFIT VENTS

ROOF PLAN NOTES

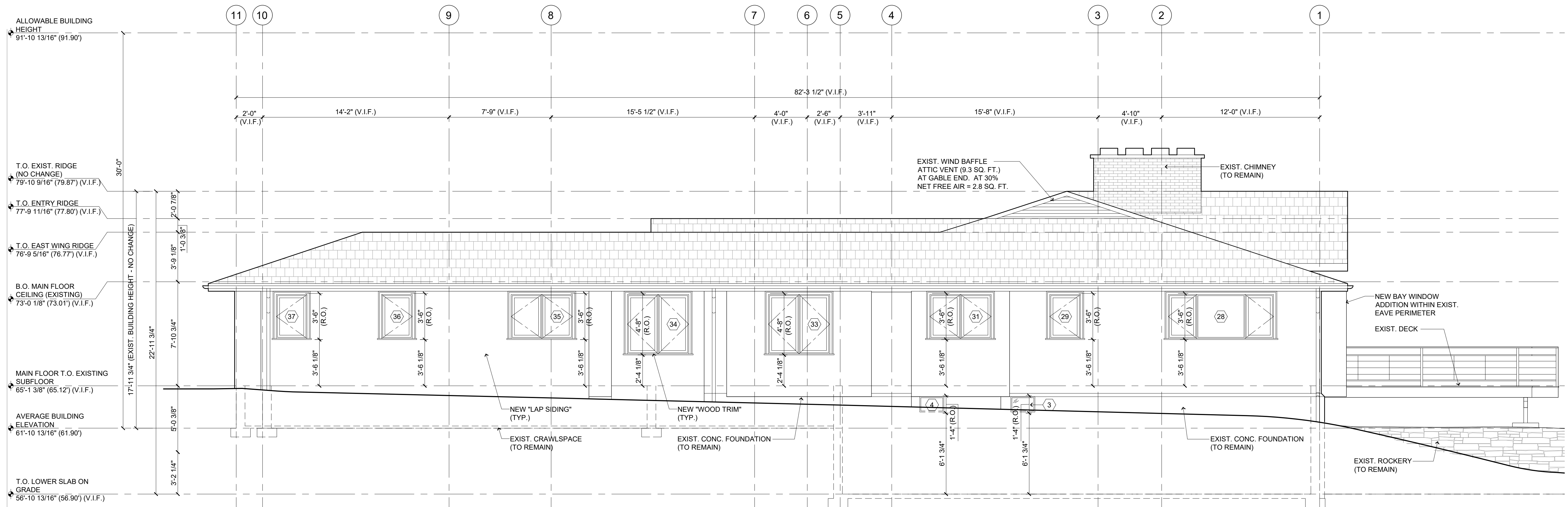
1. ALL DIMENSIONS SHOWN ON ROOF PLAN ARE BETWEEN FRAMING. EAVE DETAILS PER ARCHITECT.
2. NEW COMPOSITE ROOFING TO BE INSTALLED THROUGHOUT.
3. SEE A1.1 FOR ROOFING MATERIAL SPECIFICATIONS.
4. CONTRACTOR SHALL RE-INSULATE EXIST. ATTIC.
5. GRID LINES REFER TO EXISTING & NEW CONDITIONS



1 ROOF PLAN

SCALE: 1/4" = 1'-0"
0 5 10

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PERMIT INTAKE	10.17.2023



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL NOTES

(ITEMS NOTED ON DRAWINGS IN QUOTATION MARKS SHALL BE AS DESCRIBED BELOW)

"ARCHITECTURAL CONCRETE" - CAST-IN-PLACE ARCHITECTURAL CONCRETE (REINFORCING AND MIX PER STRUCTURAL DETAILS) WITH INTEGRAL DAVIS COLOR (COLOR PER ARCHITECT). LIGHT ACID ETCHED FINISH AT ALL EXPOSED HORIZONTAL SURFACES. (SEE ARCHITECT'S SPECIFICATION FOR COMPLETE DESCRIPTION). VERTICAL WALLS TO BE TEXTURED HORIZONTAL BOARD FORMED FINISH ON EXPOSED SURFACES ONLY.

"COMPOSITE ROOFING" - SUPREME THREE TAB COMPOSITE ROOFING SHINGLES BY GAF OR APPROVED EQUAL WITH A LIFETIME WARRANTY (WWW.GAF.COM OR 877-423-7663) (COLOR PER ARCHITECT). INSTALL PER ARCHITECT'S DETAILS AND MANUFACTURER'S INSTRUCTIONS. SUBMIT A CUTSHEET FOR WATERPROOFING UNDERLAYMENT TO ARCHITECT FOR APPROVAL.

"DAMP PROOFING" - BASF (WWW.BUILDINGSYSTEM.BASF.COM) MASTER SEAL 615 EMULSIFIED-ASPHALT DAMP PROOFING. INSTALL PER ARCHITECT'S DETAILS AND MANUFACTURER'S INSTRUCTIONS.

"DRAINAGE MAT" - 3/8" HYDRODRAIN 400 BY AMERICAN HYDROTECH INC. (WWW.HYDROTECHUSA.COM OR 800-877-6125). INSTALL PER MANUFACTURER'S INSTRUCTIONS.

"FABRIC MEMBRANE" - FLASHING PRODUCTS, INC. (WWW.SUREFLASH.COM OR 206-568-6633) SURE FLASH FABRIC FLASHING. INSTALL PER ARCHITECT'S DETAILS AND MANUFACTURER'S INSTRUCTIONS.

"FAST FLASH" - (AT WINDOW / WALL PENETRATIONS) PROSOCO R-GUARD (WWW.PROSOCO.COM OR 800-255-4255) FASTFLASH LIQUID APPLIED FLASHING MEMBRANE. INSTALL PER ARCHITECT'S DETAILS AND MANUFACTURER'S INSTRUCTIONS. USE PROSOCO JOINT AND SEAM TO PREP OPENING AND JOINTS. USE PROSOCO AIR DAM SEALANT FOR APPLICATION AT INTERIOR SIDE OF WINDOW AND DOOR FRAMES OVER BACKER ROD AS NECESSARY.

"INSULATION - BATT" - OWENS CORNING ECOTOUCH PINK OR APPROVED EQUAL. R-VALUE PER DRAWINGS

"INSULATION - RIGID" - OWENS CORNING FOAMULAR 250 OR APPROVED EQUAL. R-VALUE PER DRAWING

"INSULATION - SPRAYFOAM" - MANUFACTURER: DEMILEC LLC; PRODUCT: HEATLOK SOY 200 PLUS SPRAY-APPLIED POLYURETHANE FOAM INSULATION; ESR OR APPROVED EQUAL. REPORT NUMBER: ESR-3210. SPRAY FOAM SHALL BE INSTALLED BY A CERTIFIED INSTALLER. A COPY OF THE ICC ESR REPORT PRODUCT MUST BE PROVIDED ON THE JOB SITE FOR FIELD INSPECTOR VERIFICATION. R-VALUE PER DRAWINGS.

"LAP SIDING" - 5.25" SMOOTH HARDIE ASPYRE ARTISAN LAP SIDING (4" EXPOSED TO WEATHER) PRIMED FOR PAINT (WWW.JAMESHARDIE.COM). FOLLOW ALL MANUFACTURER'S INSTALLATION INSTRUCTIONS. PAINT SPECIFICATION PER ARCHITECT.

"METAL GUTTER" - 5" HALF ROUND STYLE 26 GAUGE STEEL GUTTER BY "CUSTOM BUILT" OR APPROVED EQUAL (COLOR PER ARCHITECT). INSTALL PER ARCHITECT'S DETAILS AND MANUFACTURER'S INSTRUCTIONS. COMPLY WITH SMACNA MANUAL FOR FABRICATION AND INSTALLATION.

"METAL DOWNSPOUT" - 3" DIAMETER, 24 GAUGE METAL - CUSTOMBILT OR APPROVED EQUAL (PAINT COLOR PER ARCHITECT, COMPLY WITH SMACNA MANUAL FOR FABRICATION AND INSTALLATION).

"METAL RAIL" - DETAILS AND SPECIFICATION PER ARCHITECT. WHERE REQUIRED PER CODE TO FUNCTION AS A GUARDRAIL, MINIMUM HEIGHT SHALL BE 36" (PER R312.1.2) WITH NO OPENINGS LARGE ENOUGH FOR A 4" SPHERE TO PASS THROUGH (PER R312.1.3). LATERAL RESISTANCE AT THE TOP OF RAIL TO MEET OR EXCEED 200LBS (CONCENTRATED LOAD) AND THE LATERAL RESISTANCE OF ALL RAIL INFILL COMPONENTS TO MEET OR EXCEED 50PSF (PER R301.5).

"METAL FLASHING" - 24 GAUGE GALVANIZED STEEL FLASHING - CUSTOMBILT OR APPROVED EQUAL - COLOR PER ARCHITECT. COMPLY WITH SMACNA MANUAL FOR FABRICATION AND INSTALLATION.

"SELF-ADHERED FLASHING" (AT WINDOW / WALL PENETRATIONS) - GRACE VYCOR PLUS SELF ADHERED FLASHING (OR APPROVED EQUAL) - INSTALL PER MANUFACTURER'S INSTRUCTIONS AND DETAILS.

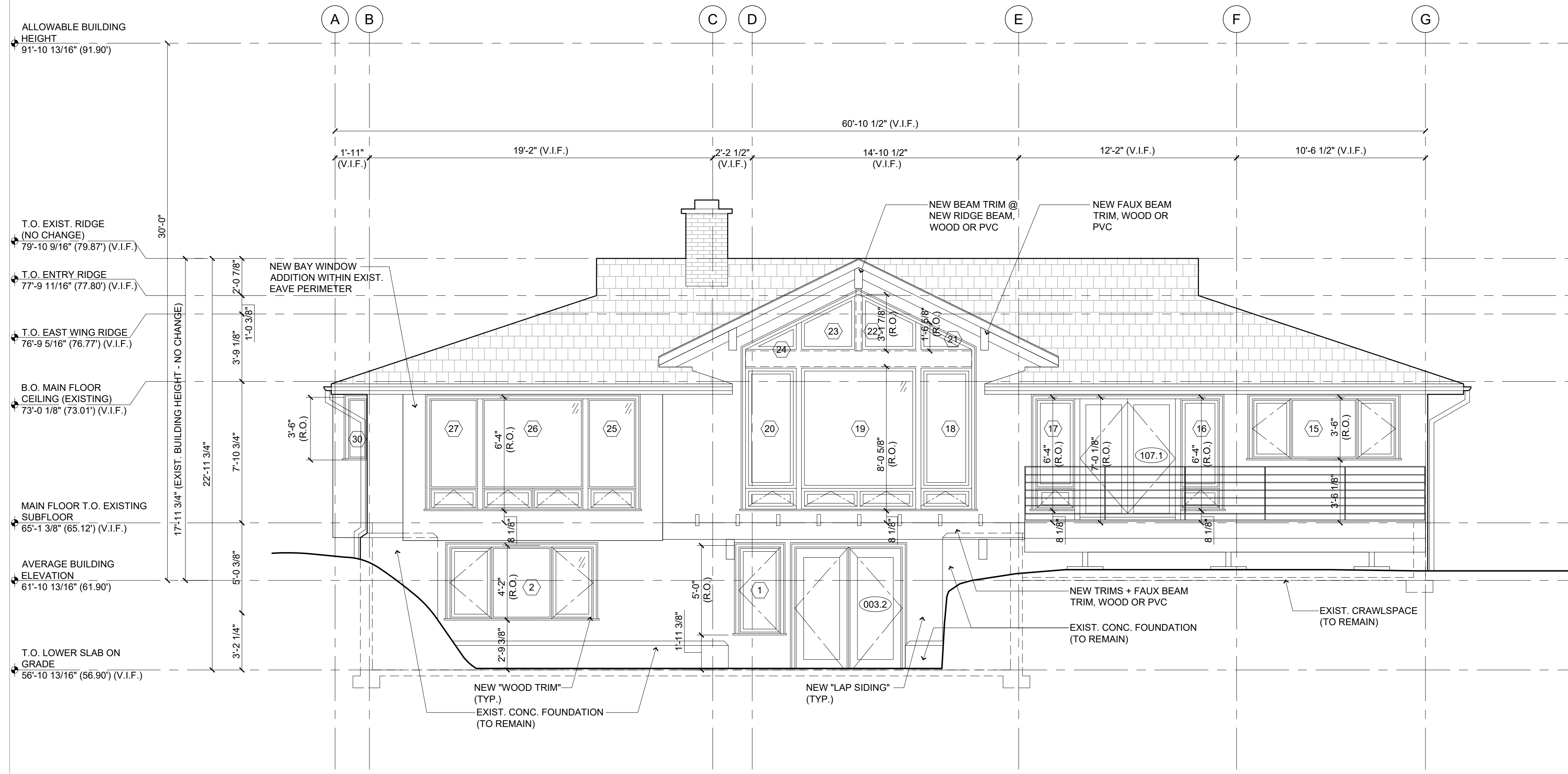
"UNDERSLAB VAPOR BARRIER" - 10 MIL STEGOWRAP (WWW.STEGOINDUSTRIES.COM/PRODUCTS/STEGO-WRAP). INSTALL PER MANUFACTURER'S INSTRUCTIONS.

"WATER RESISTIVE BARRIER" - VAPROSHIELD (WWW.VAPROSHIELD.COM OR 866-731-7663) (1) LAYER WRAPSHIELD AT "LAP SIDING" LOCATIONS, AND WOOD FRAMED LOCATIONS. INSTALL PER ARCHITECT'S DETAILS AND MANUFACTURER'S INSTRUCTIONS. USE DOW 758 SEALANT AT VERTICAL LOCATIONS.

"WOOD DECKING" - 1X4 S4S IPE DECKING WITH EB-TY HIDDEN DECK FASTENERS (OR APPROVED EQUAL). SEAL ALL END CUTS DURING INSTALLATION.

"WOOD TRIM" - C AND BETTER CLEAR WESTERN RED CEDAR S3S (SIZE AND PROFILE PER DETAILS). PAINT COLOR PER ARCHITECT.

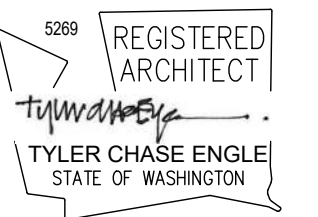
NOTE: CONTRACTOR SHALL VERIFY COMPATIBILITY OF ALL SEALERS, MEMBRANES, CAULKS AND FLASHINGS FOR DURABLE WATERTIGHT INSTALLATIONS.



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



DEDICATED APPROVAL STAMP SPACE



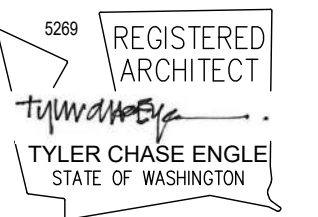
DRAWING TITLE:
ELEVATIONS - NORTH & WEST / MATERIAL NOTES

DRAWN / CHECKED BY:
DRAWN BY: S. VIDYARTHI
CHECKED BY: J. TUNG, T. ENGLE

DATE: **10.11.2023** SHEET NUMBER: **A2.1**

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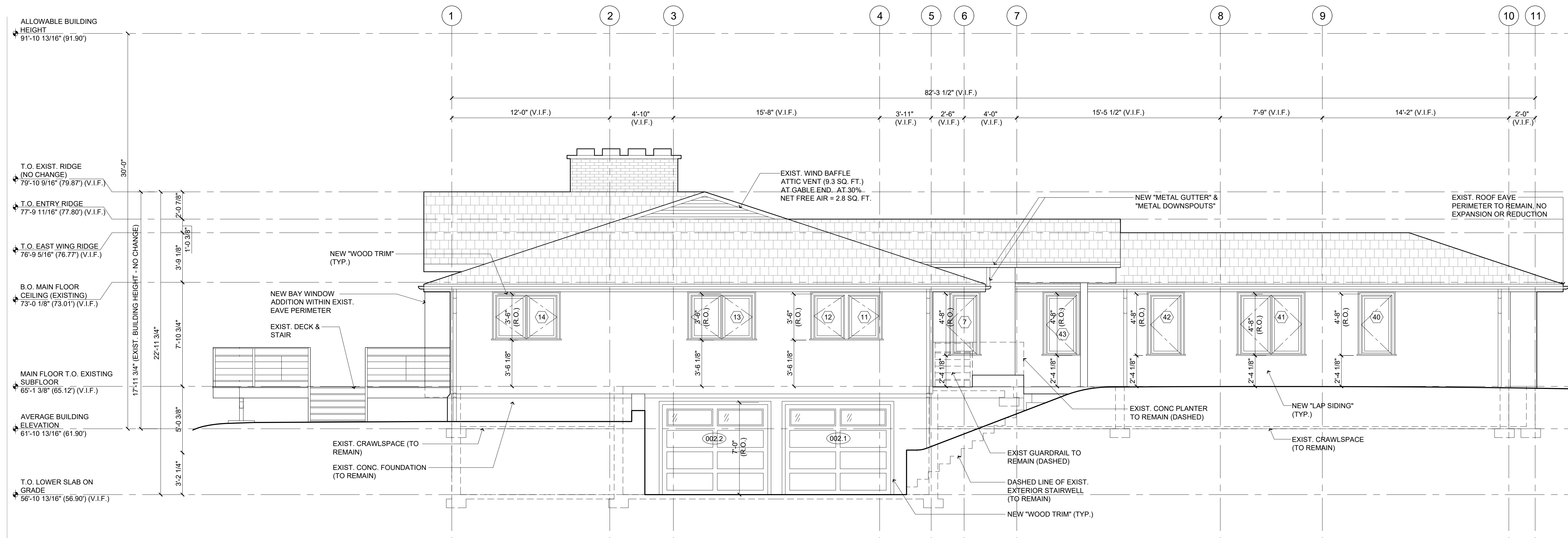


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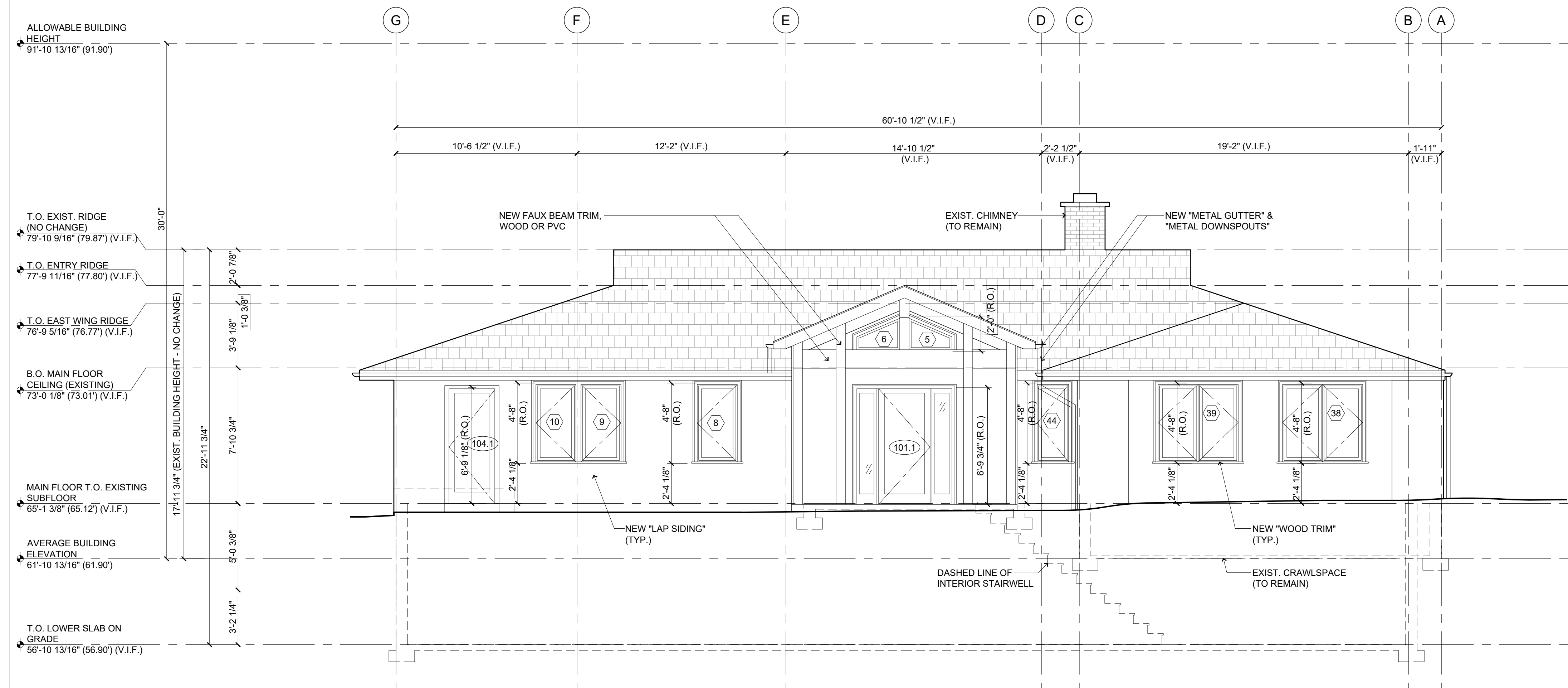
DRAWING TITLE:
ELEVATIONS - SOUTH & EAST

DRAWN / CHECKED BY:
DRAWN BY: S. VIDYARTHI
CHECKED BY: J. TUNG, T. ENGLE

DATE: **10.11.2023** SHEET NUMBER: **A2.2**



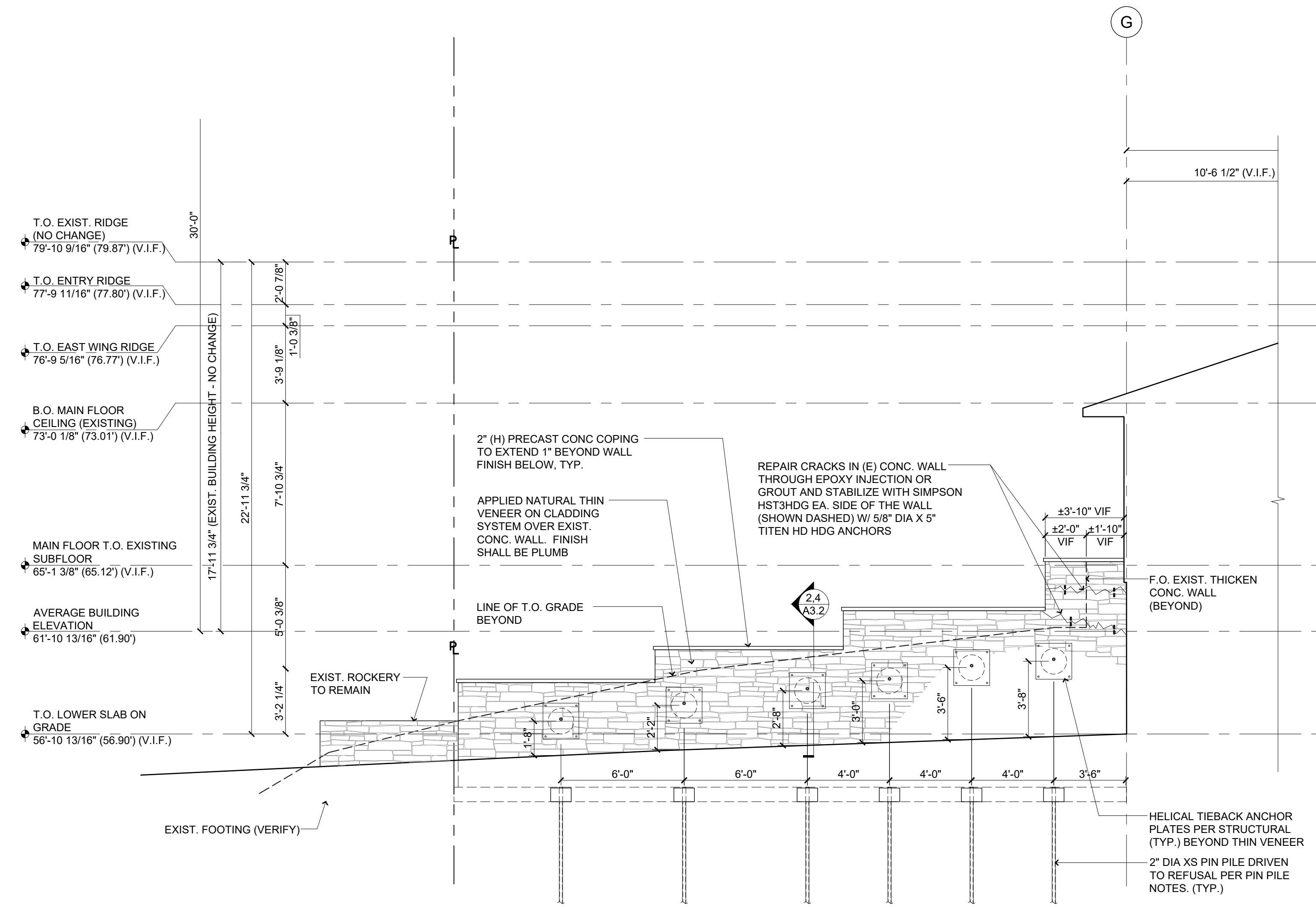
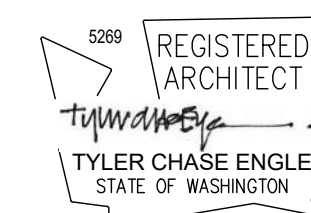
1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



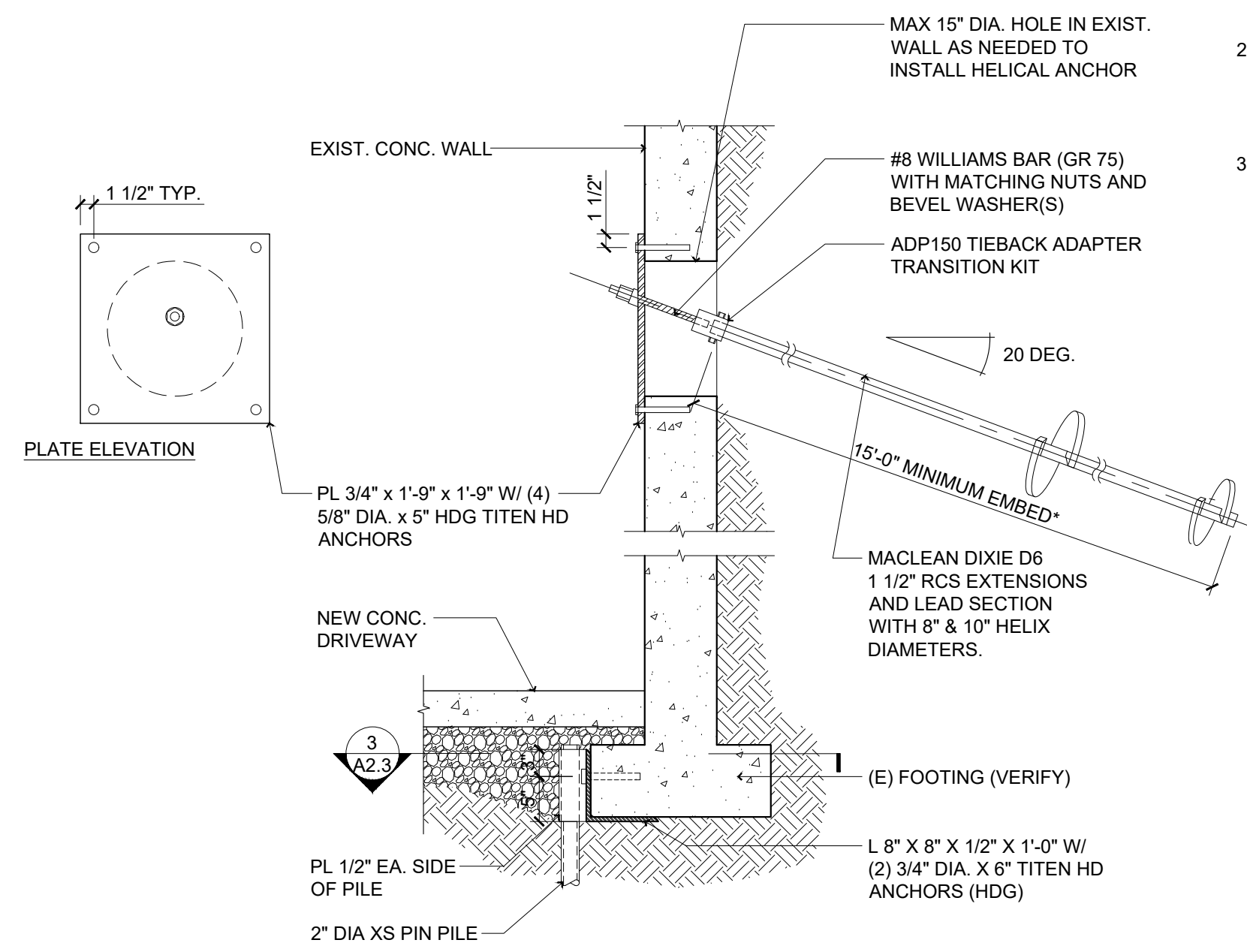
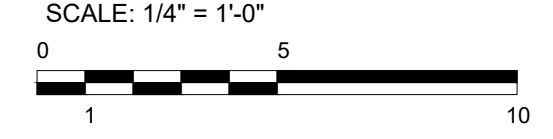
2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



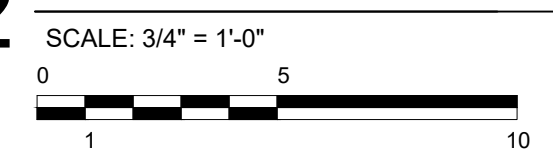
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PRE APP SITE PLAN	08.01.2022
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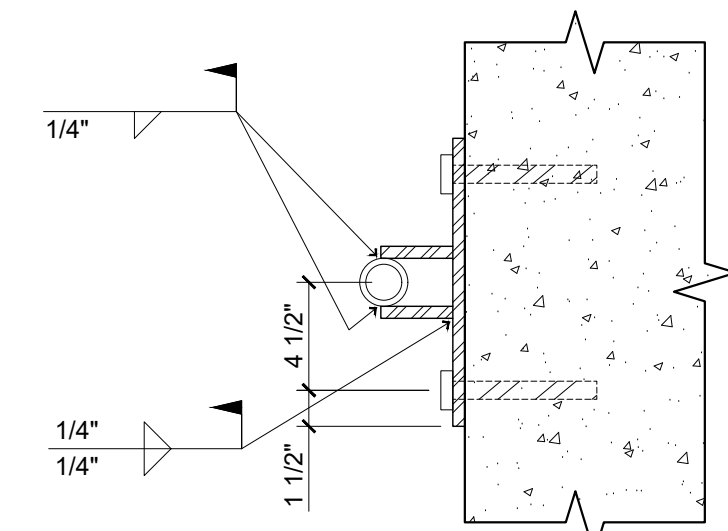
1 EAST ELEVATION AT EXIST RETAINING WALL



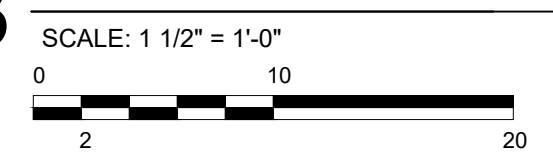
2 TYP. HELICAL ANCHOR DETAIL



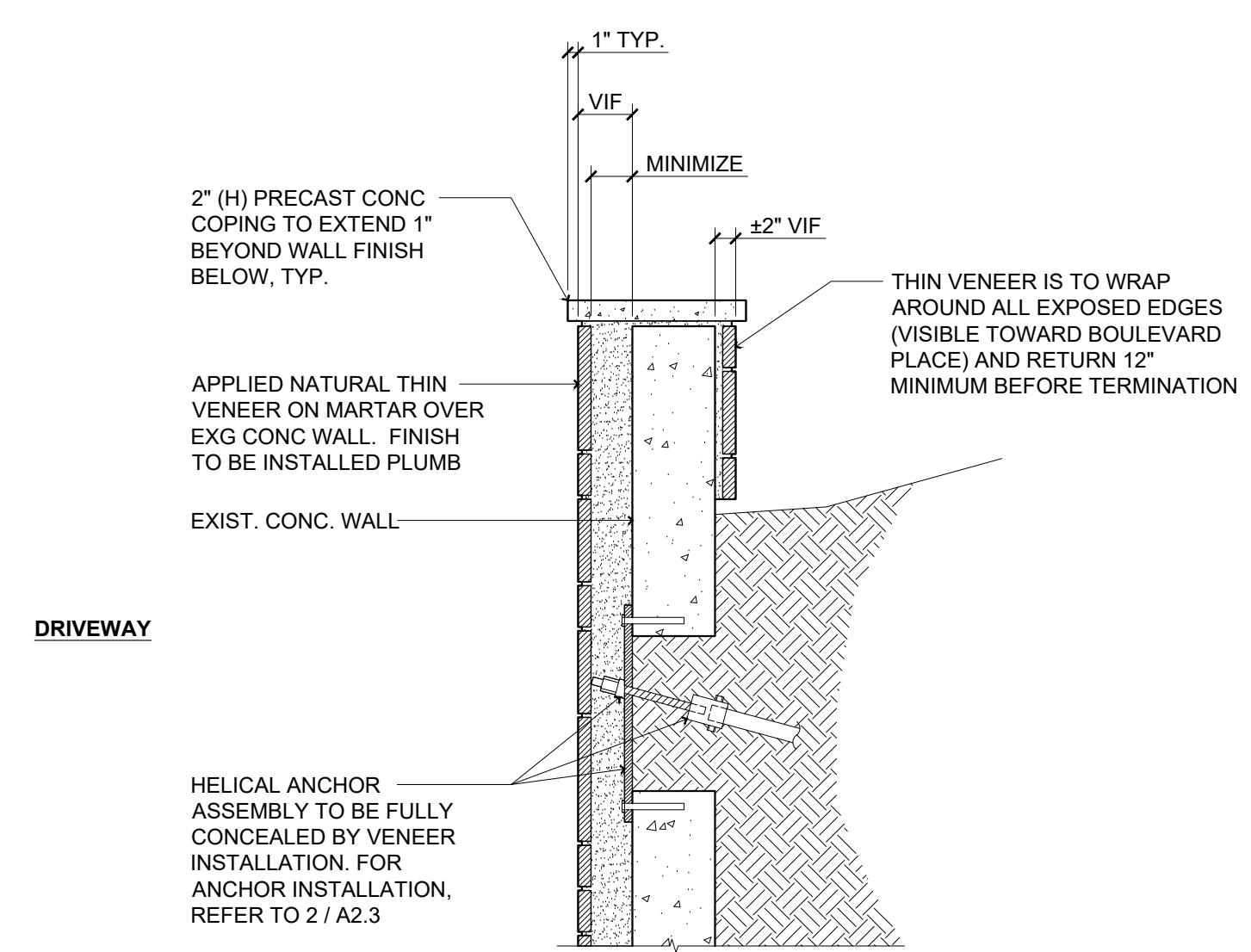
- HELICAL ANCHOR NOTES**
- ANCHOR DESIGN CAPACITY: 10 KIPS TENSION
FACTOR OF SAFETY = 2.0
(ULTIMATE 20 KIPS TENSION)
 - ACTUAL EMBEDMENT DEPTH IS DETERMINED BY INSTALLATION TORQUE MINIMUM FINAL INSTALLATION TORQUE = 2,000 FT-LBS (K1 = 10) DO NOT EXCEED THE MAXIMUM TORQUE CAPACITY OF THE HELICAL ANCHOR = 5,500 FT-LBS.
 - HELIX CONFIGURATION MAY BE ALTERED IF ANCHOR CANNOT BE DRIVEN TO THE REQUIRED MINIMUM DEPTH WITHOUT EXCEEDING THE TORQUE CAPACITY OF THE ANCHOR (5,500 FT-LBS). IF MINIMUM EMBED DEPTH CANNOT BE ACHIEVED, OR IF EMBED DEPTH EXCEEDS THE LIMITS OF THE PROPERTY LINES.



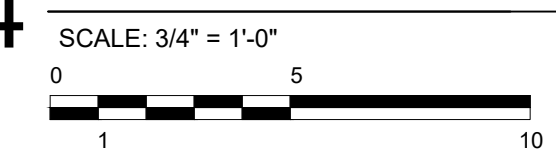
3 PIN PILE AT FOOTING DETAIL

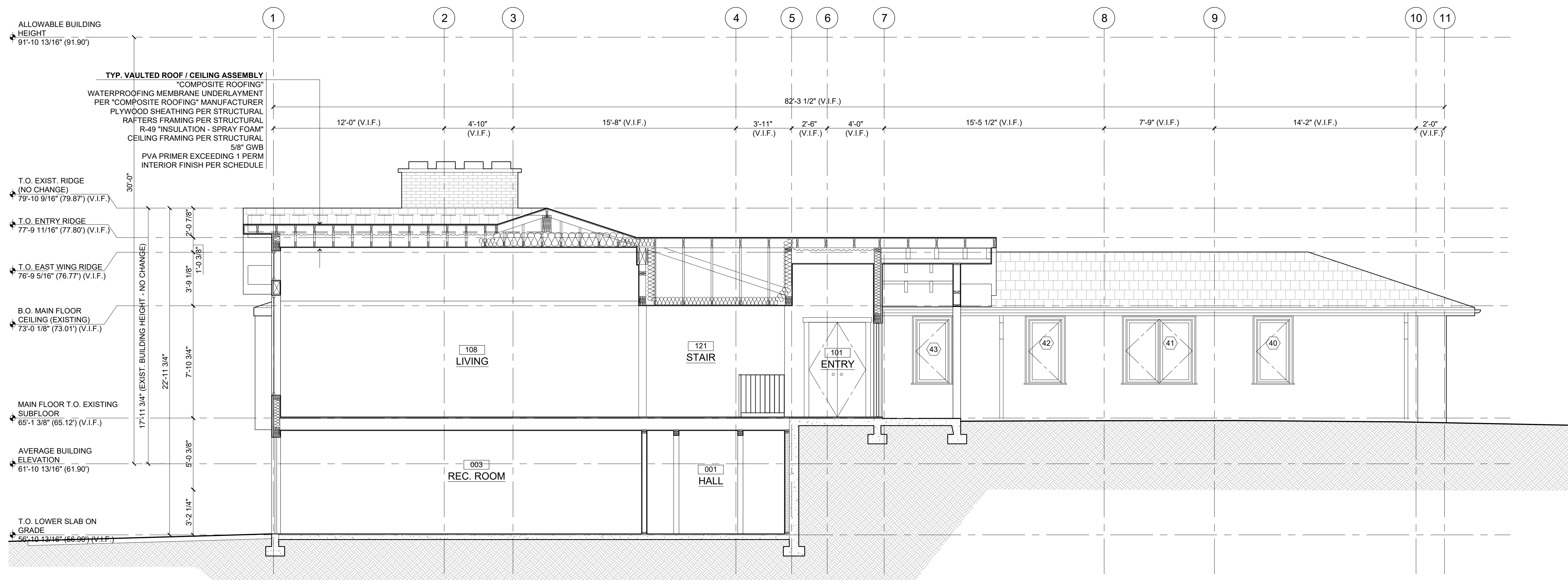
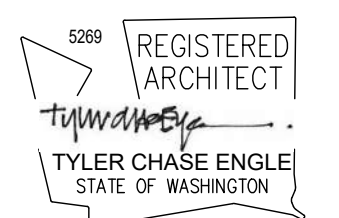


NOTE:
1. THE SIZE AND MIX OF STONE VENEER IS TO MATCH THE SAMPLE APPROVED BY ARCHT.

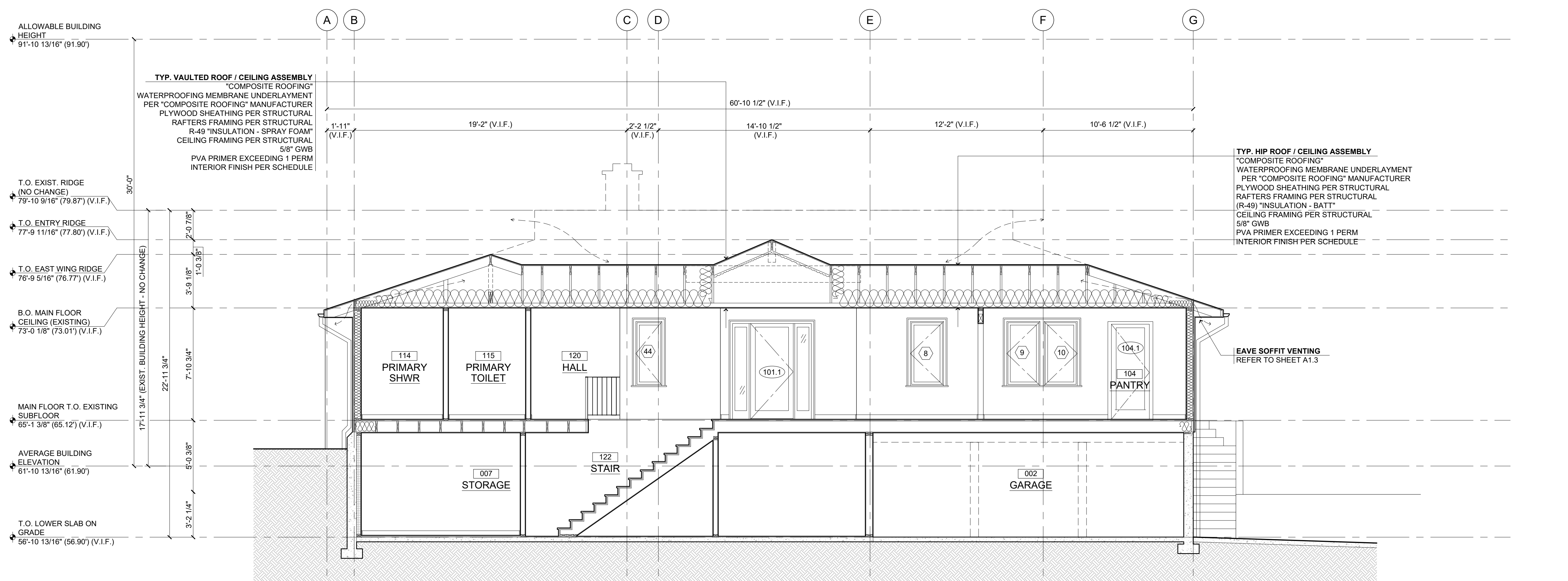


4 TYP. HELICAL ANCHOR DETAIL



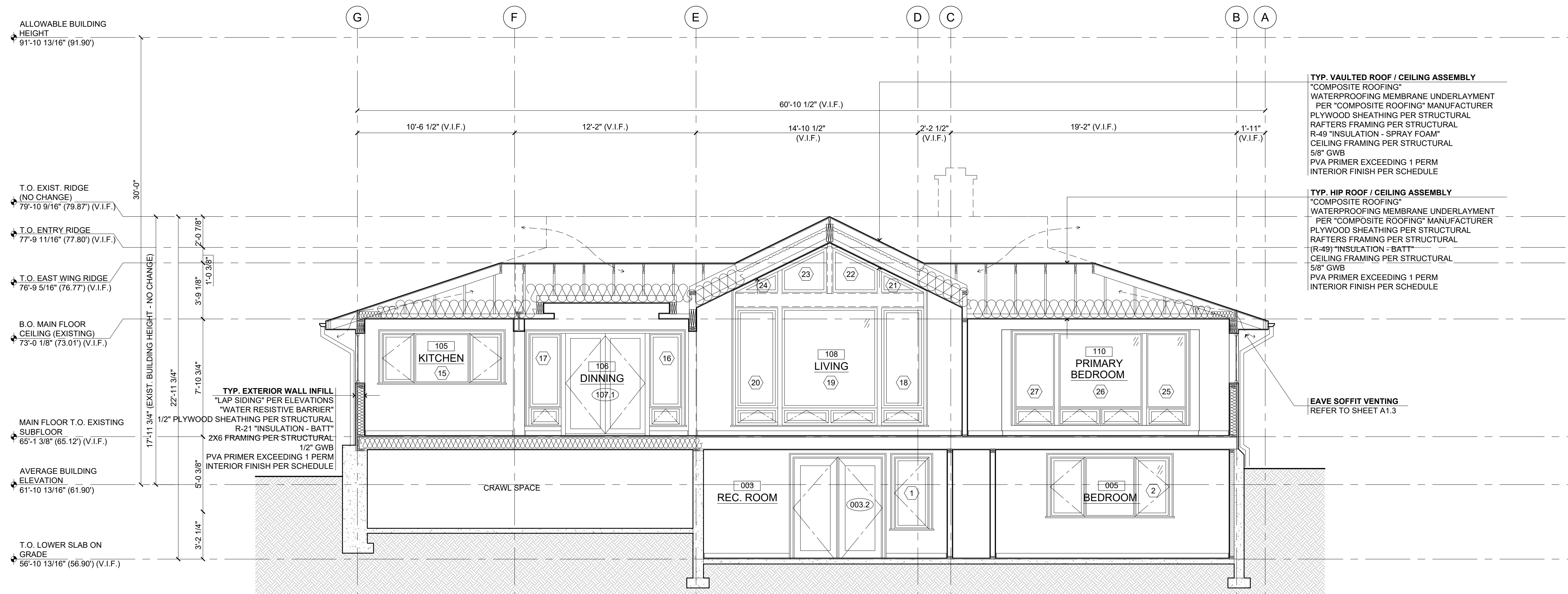
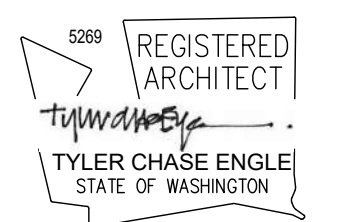


1 BUILDING SECTION B-B (LOOKING NORTH)
SCALE: 1/4" = 1'-0"

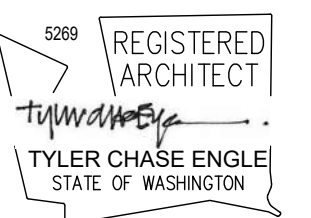


2 BUILDING SECTION A-A (LOOKING EAST)
SCALE: 1/4" = 1'-0"

NOTE: SEE A2.1 FOR MATERIAL NOTES



ISSUE / REVISIONS	DATE
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NUMBER	LOCATION	ORIENTATION	TYPE	R.O. WIDTH	R.O. HEIGHT	UNIT AREA (S.F.)	U VALUE	UA VALUE	NFRC/ DEFAULT	REMARKS
EXTERIOR DOORS (ALL DOOR DIMENSIONS REFER TO R.O. UNLESS NOTED OTHERWISE, ALL GLAZED DOORS SHALL BE SAFETY GLASS - (T))										
002.1	GARAGE 002	SOUTH	D	8' - 0"	7' - 0"	56.00	0.29	16.24	NFRC	VERIFY EXIST. R.O. SIZE
002.2	GARAGE 002	SOUTH	D	8' - 0"	7' - 0"	56.00	0.29	16.24	NFRC	VERIFY EXIST. R.O. SIZE
003.2	REC. ROOM 003	WEST	A	6' - 2"	7' - 0 3/4"	43.55	0.29	12.63	NFRC	(T), VERIFY EXIST. R.O. SIZE
101.1	ENTRY 101	EAST	B	5' - 8 1/2"	6' - 9 3/4"	38.89	0.29	11.28	NFRC	
104.1	PANTRY 104	EAST	C	2' - 10"	6' - 9 1/8"	19.15	0.29	5.55	NFRC	(T)
107.1	DECK 107	WEST	A	5' - 6"	7' - 0 3/4"	38.84	0.29	11.26	NFRC	(T)
TOTAL						252.44	0.29	73.21		
TOTAL UA VALUE / TOTAL DOOR AREA = (AVERAGE DOOR U VALUE)										
INTERIOR DOORS (ALL DOOR DIMENSIONS REFER TO R.O. UNLESS NOTED OTHERWISE)										
001.1	HALL 001	-	E	2' - 8"	6' - 9 3/4"	-	-	-	EXEMPT	
003.1	REC. ROOM 003	-	F	6' - 2"	6' - 9 3/4"	-	-	-	EXEMPT	
005.1	EXIST. BEDROOM 005	-	E	2' - 8"	6' - 8 1/4"	-	-	-	EXEMPT	SAVE EXIST. DOOR AND RE-USE
005.2	EXIST. BEDROOM 005	-	F	4' - 2"	6' - 8 1/4"	-	-	-	EXEMPT	SAVE EXIST. DOOR AND RE-USE
006.1	BATH 006	-	E	2' - 8"	6' - 8 1/4"	-	-	-	EXEMPT	SAVE EXIST. DOOR AND RE-USE
009.1	MECH. 009	-	E	2' - 8"	6' - 9 3/4"	-	-	-	EXEMPT	SAVE EXIST. DOOR AND RE-USE
101.2	ENTRY 101	-	F	4' - 1 1/2"	6' - 9 3/4"	-	-	-	EXEMPT	
102.1	PWDR 102	-	E	2' - 10"	6' - 9 3/4"	-	-	-	EXEMPT	
103.1	LAUNDRY 103	-	E	2' - 8"	6' - 9 3/4"	-	-	-	EXEMPT	
104.2	PANTRY 104	-	E	2' - 10"	6' - 9 3/4"	-	-	-	EXEMPT	
109.1	HALL 109	-	E	2' - 10"	6' - 9 3/4"	-	-	-	EXEMPT	
109.2	HALL 109	-	E	2' - 2"	6' - 9 3/4"	-	-	-	EXEMPT	
109.3	HALL 109	-	F	4' - 2"	6' - 9 3/4"	-	-	-	EXEMPT	
109.4	HALL 109	-	E	2' - 2"	6' - 9 3/4"	-	-	-	EXEMPT	
110.1	PRIMARY BEDROOM 110	-	G	3' - 5 1/2"	6' - 9 3/4"	-	-	-	EXEMPT	
111.1	PRIMARY CLOSET 111	-	E	2' - 10"	6' - 9 3/4"	-	-	-	EXEMPT	
112.1	PRIMARY BATH 112	-	G	2' - 10"	6' - 9 3/4"	-	-	-	EXEMPT	
114.1	PRIMARY TOILET 114	-	E	2' - 6"	6' - 9 3/4"	-	-	-	EXEMPT	
115.1	OFFICE 115	-	E	2' - 8"	6' - 9 3/4"	-	-	-	EXEMPT	
115.2	OFFICE 115	-	F	3' - 2"	6' - 9 3/4"	-	-	-	EXEMPT	
116.1	EXIST. BEDROOM 116	-	E	2' - 8"	6' - 9 3/4"	-	-	-	EXEMPT	SAVE EXIST. DOOR AND RE-USE
116.2	EXIST. BEDROOM 116	-	F	5' - 2"	6' - 9 3/4"	-	-	-	EXEMPT	
117.1	BATH 117	-	E	2' - 8"	6' - 9 3/4"	-	-	-	EXEMPT	
118.1	EXIST. BEDROOM 118	-	E	2' - 8"	6' - 9 3/4"	-	-	-	EXEMPT	SAVE EXIST. DOOR AND RE-USE
118.2	EXIST. BEDROOM 118	-	F	5' - 2"	6' - 9 3/4"	-	-	-	EXEMPT	SAVE EXIST. DOOR AND RE-USE
119.1	EXIST. BEDROOM 119	-	E	2' - 8"	6' - 9 3/4"	-	-	-	EXEMPT	SAVE EXIST. DOOR AND RE-USE
119.2	EXIST. BEDROOM 119	-	F	5' - 2"	6' - 9 3/4"	-	-	-	EXEMPT	SAVE EXIST. DOOR AND RE-USE
120.1	HALL 120	-	F	5' - 2"	6' - 9 3/4"	-	-	-	EXEMPT	

DOOR GENERAL NOTES:

- ALL DOORS ARE REFERENCED ON FLOOR PLANS (A1.1 & A1.2 AND ELEVATIONS (A2.1 & A2.2)).
- ALL DOOR SIZES SHOWN ARE APPROXIMATE. ALL ROUGH OPENING DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR AFTER FRAMING IS COMPLETED AND PRIOR TO ORDERING WINDOWS.
- DOOR AREAS SHOWN ARE APPROXIMATE AND SHOULD BE VERIFIED W/ ACTUAL ROUGH OPENINGS.
- ALIGNMENTS SHOWN IN ELEVATIONS TAKE PRECEDENT OVER R.O. DIMENSIONS.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL EXTERIOR DOORS FOR ARCHITECT'S APPROVAL PRIOR TO ORDER / FABRICATION.
- AT LEAST ONE WINDOW OR DOOR LOCATED WITHIN SLEEPING ROOMS SHALL MEET EMERGENCY ESCAPE REQUIREMENTS PER ORSC R310. EMERGENCY EGRESS WINDOWS AND DOORS ARE INDICATED ON SCHEDULE AS "EGRESS".
- ALL EXTERIOR DOORS SHALL BE NFRC 100, LABELED AND CERTIFIED BY THE MANUFACTURER.
- ALL GLAZED DOORS SHALL HAVE SAFETY GLAZING (T), PER SRC SECTION R308
- DOOR HARDWARE AND FINISHES SHALL BE SPECIFIED BY ARCHITECT/OWNER.
 - POCKET DOOR TRACK HARDWARE SHALL BE HAFELE HAWA JUNIOR 80/Z (PRODUCT NO. 940.80.001), OR APPROVED EQUAL.
 - POCKET DOOR FLUSH CUP PULLS SHALL BE EMTEK ASSA ABLOY MODERN RECTANGULAR FLUSH 6" PULL (PRODUCT NO. 220306). FINISH PER ARCHITECT.
 - POCKET DOOR EDGE PULLS SHALL BE EMTEK ASSA ABLOY EDGE PULL WITH SCREWS (PRODUCT NO. 2221). FINISH PER ARCHITECT.
 - PROVIDE FLOOR DOOR STOPS AT DOORS, LOCATIONS PER ARCHITECT. DOOR STOPS SHALL BE BALDWIN FLOOR BUMPER MODEL NO. 4505 (FINISH PER ARCHITECT).
 - PROVIDE HINGE STOPS AT DOORS, LOCATIONS PER ARCHITECT. HINGE STOPS SHALL BE IVES 70A (FINISH PER ARCHITECT).
- ALL EXTERIOR DOORS SHALL BE FITTED WITH PEMKO (OR APPROVED EQUAL) COMPRESSION BULB WEATHER STRIPPING. COLOR PER ARCHITECT.
- ALL EXTERIOR DOORS SHALL HAVE A LOCKING DEVICE. KEYED LOCATIONS SHALL BE DETERMINED BY ARCHITECT / OWNER.
- ALL INTERIOR DOORS SHALL BE SOLID CORE PAINT GRADE WOOD.
- THE ROUGH OPENING HEIGHT AND SPECIFICATION IS MEASURED FROM SUB-FLOOR. THE EXTERIOR DOORS SHALL BE UNDERCUT FOR THE SPECIFIED THRESHOLD. THRESHOLD DETAIL PER ARCHITECT.

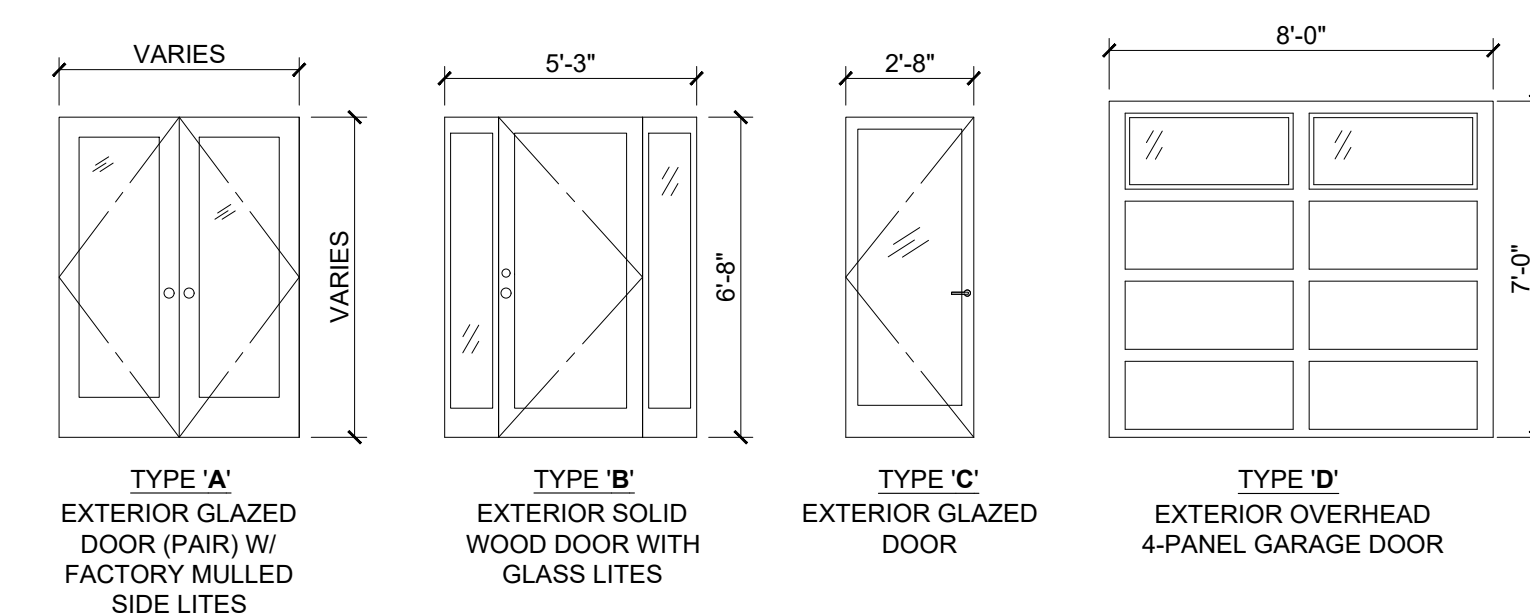
DOOR SPECIFICATION NOTES:

- ALL EXTERIOR LOEWEN DOORS TO BE WOOD FRAMED WITH METAL CLAD EXTERIOR.
- LOEWEN METAL CLAD EXTERIOR COLOR PER OWNER / ARCHITECT.
- ALL EXTERIOR LOEWEN DOORS TO HAVE PRIMED (PAINT READY) INTERIOR FINISH IN THE OXFORD WHITE COLOR.
- ALL EXTERIOR LOEWEN DOORS TO HAVE OIL RUBBED BRONZE HARDWARE FINISH.
- ALL EXTERIOR LOEWEN DOORS TO HAVE VERONA HARDWARE W/ KEYED EXTERIOR.
- ALL EXTERIOR LOEWEN DOORS TO HAVE STANDARD 4 9/16" JAMB DEPTH WITH FACTORY 5/8" JAMB EXTENSIONS.
- ALL EXTERIOR LOEWEN DOORS TO HAVE SQUARE STICKING PROFILES ON THE INTERIOR AND PUTTY STICKING PROFILES ON THE EXTERIOR.
- ALL EXTERIOR LOEWEN DOORS TO HAVE 5/8" SIMULATED DIVIDED LITE WITH SPACER BAR (SDL). SLD GRILLE LOCATIONS AND PATTERN PER THE EXTERIOR ELEVATIONS ON SHEETS A2.1-A2.2.
- ALL SCREENS TO BE STANDARD ALUMINUM SCREENS WITH STANDARD BETTERVUE SCREEN CLOTH.
- EXTERIOR DOOR MANUFACTURER / MODEL: **LOEWEN METAL CLAD TERRACE DOORS**
 - "TYPE A":** LOEWEN TERRACE DOOR / METAL CLAD / INSWING: RH / LowE1 ARGON FILLED / U-VALUE: 0.29
 - "TYPE B":** LOEWEN TERRACE DOOR / METAL CLAD / OUTSWING: LAR (XO) / DOUBLE GLAZING / LowE1 ARGON FILLED / U-VALUE: 0.29
 - "TYPE C":** NORTHSTAR WOODWORKS CUSTOM WOOD DOOR, DETAILS TO BE PROVIDED BY ARCHITECT.

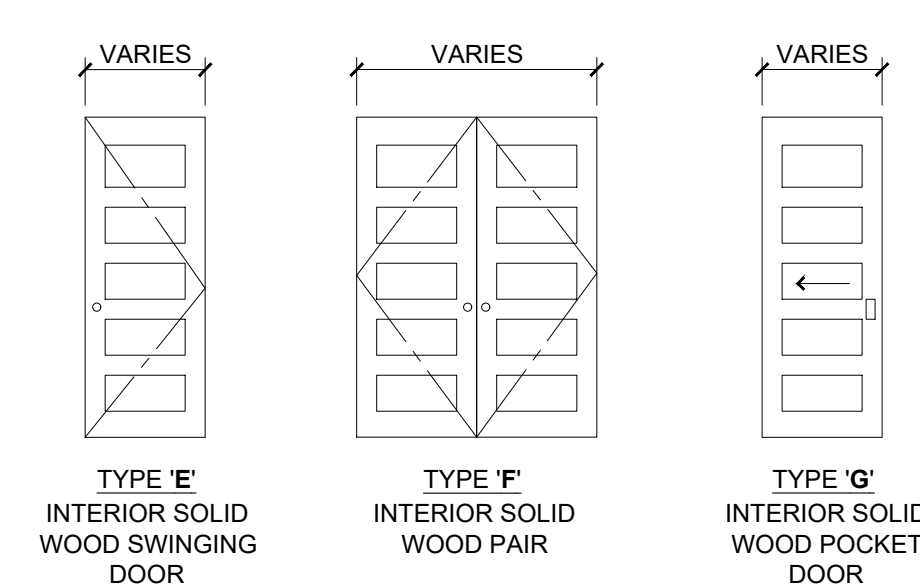
DOOR TYPES

NOTE: OPERATION SHOWN IS AS VIEWED FROM THE EXTERIOR. REFER TO PLAN ON SHEET A1.1 FOR SWING AND POCKET DIRECTION.

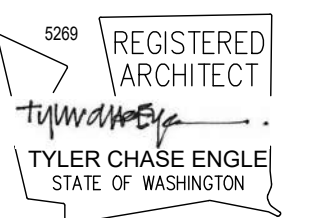
EXTERIOR DOORS



INTERIOR DOORS



ISSUE / REVISIONS	DATE
PRE APP SITE PLAN	08.01.2022
PERMIT SUBMITTAL	09.01.2022
PERMIT INTAKE	10.17.2023

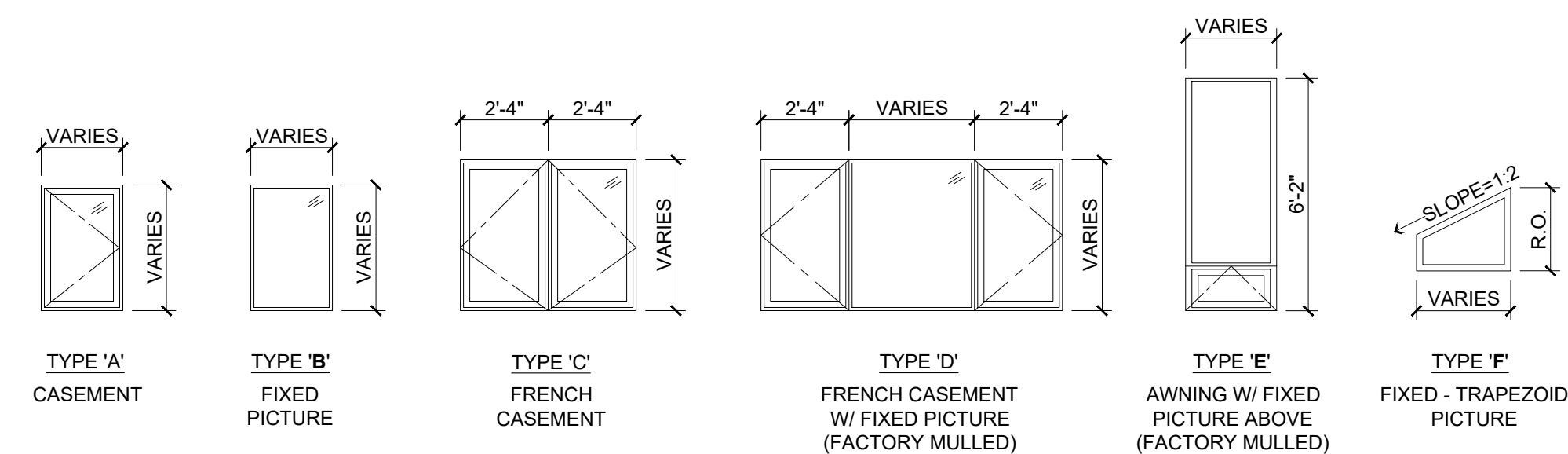


NUMBER	LOCATION	ORIENTATION	TYPE	R.O. WIDTH	R.O. HEIGHT	UNIT AREA (S.F.)	U VALUE	UA VALUE	NFRC/ DEFAULT	REMARKS	
EXTERIOR WINDOWS											
1	REC. ROOM 003	WEST	A	2' - 6"	5' - 0"	12.50	0.29	3.63	NFRC	VERIFY EXIST. R.O. SIZE	
2	EXIST. BEDROOM 005	WEST	D	8' - 2"	4' - 2"	34.03	0.29	9.87	NFRC	EGRESS	
3	BATH 006	NORTH	A	2' - 0"	1' - 4"	2.67	0.29	0.77	NFRC	VERIFY EXIST. R.O. SIZE	
4	STORAGE 007	NORTH	A	2' - 0"	1' - 4"	2.67	0.29	0.77	NFRC	VERIFY EXIST. R.O. SIZE	
5	ENTRY 101	EAST	F	2' - 8"	2' - 0"	5.33	0.29	1.55	NFRC		
6	ENTRY 101	EAST	F	2' - 8"	2' - 0"	5.33	0.29	1.55	NFRC		
7	ENTRY 101	SOUTH	A	2' - 0"	4' - 8"	9.33	0.29	2.71	NFRC		
8	ENTRY 101	EAST	A	2' - 6"	4' - 8"	11.67	0.29	3.38	NFRC		
9	LAUNDRY 103	EAST	A	2' - 6"	3' - 6"	8.75	0.29	2.54	NFRC		
10	LAUNDRY 103	EAST	A	2' - 6"	3' - 6"	8.75	0.29	2.54	NFRC		
11	PANTRY 104	SOUTH	A	2' - 6"	3' - 6"	8.75	0.29	2.54	NFRC		
12	PANTRY 104	SOUTH	A	2' - 6"	3' - 6"	8.75	0.29	2.54	NFRC		
13	KITCHEN 105	SOUTH	C	4' - 10"	3' - 6"	16.92	0.29	4.91	NFRC		
14	KITCHEN 105	SOUTH	C	4' - 10"	3' - 6"	16.92	0.29	4.91	NFRC		
15	KITCHEN 105	WEST	D	8' - 2"	3' - 6"	28.58	0.29	8.29	NFRC		
16	DINNING 106	WEST	E	2' - 4"	6' - 4"	14.78	0.29	4.29	NFRC		
17	DINNING 106	WEST	E	2' - 4"	6' - 4"	14.78	0.29	4.29	NFRC		
18	LIVING 108	WEST	E	3' - 0"	8' - 0 5/8"	24.16	0.29	7.01	NFRC		
19	LIVING 108	WEST	E	6' - 6 1/2"	8' - 0 5/8"	52.67	0.29	15.28	NFRC		
20	LIVING 108	WEST	E	3' - 0"	8' - 0 5/8"	24.16	0.29	7.01	NFRC		
21	LIVING 108	WEST	F	3' - 0"	1' - 6 5/8"	4.66	0.29	1.35	NFRC		
22	LIVING 108	WEST	F	3' - 1 5/8"	3' - 1 7/8"	9.90	0.29	2.87	NFRC		
23	LIVING 108	WEST	F	3' - 1 5/8"	3' - 1 7/8"	9.90	0.29	2.87	NFRC		
24	LIVING 108	WEST	F	3' - 0"	1' - 6 5/8"	4.66	0.29	1.35	NFRC		
25	PRIMARY BEDROOM 110	SOUTH	E	2' - 10"	6' - 4"	17.94	0.29	5.20	NFRC		
26	PRIMARY BEDROOM 110	SOUTH	E	5' - 9"	6' - 4"	36.42	0.29	10.56	NFRC		
27	PRIMARY BEDROOM 110	SOUTH	E	2' - 10"	6' - 4"	17.94	0.29	5.20	NFRC		
28	PRIMARY BEDROOM 110	NORTH	D	8' - 2"	3' - 6"	28.58	0.29	8.29	NFRC	EGRESS	
29	PRIMARY CLOSET 111	NORTH	A	2' - 6"	3' - 6"	8.75	0.29	2.54	NFRC		
30	PRIMARY BATH 112	WEST	B	1' - 2"	3' - 6"	4.08	0.29	1.18	NFRC		
31	PRIMARY BATH 112	NORTH	C	4' - 10"	3' - 6"	16.92	0.29	4.91	NFRC		
32	PRIMARY BATH 112	EAST	B	1' - 2"	3' - 6"	4.08	0.29	1.18	NFRC		
33	OFFICE 115	NORTH	C	4' - 10"	4' - 8"	22.56	0.29	6.54	NFRC	EGRESS	
34	EXIST. BEDROOM 116	NORTH	C	4' - 10"	4' - 8"	22.56	0.29	6.54	NFRC	EGRESS	
35	BATH 117	NORTH	C	4' - 10"	3' - 6"	16.92	0.29	4.91	NFRC		
36	EXIST. BEDROOM 118	NORTH	A	2' - 6"	3' - 6"	8.75	0.29	2.54	NFRC		
37	EXIST. BEDROOM 118	NORTH	A	2' - 6"	3' - 6"	8.75	0.29	2.54	NFRC		
38	EXIST. BEDROOM 118	EAST	C	4' - 10"	4' - 8"	22.56	0.29	6.54	NFRC		
39	EXIST. BEDROOM 119	EAST	C	4' - 10"	4' - 8"	22.56	0.29	6.54	NFRC	EGRESS	
40	EXIST. BEDROOM 119	SOUTH	A	2' - 6"	4' - 8"	11.67	0.29	3.38	NFRC	EGRESS	
41	HALL 120	SOUTH	C	4' - 10"	4' - 8"	22.56	0.29	6.54	NFRC		
42	HALL 120	SOUTH	A	2' - 6"	4' - 8"	11.67	0.29	3.38	NFRC		
43	HALL 120	SOUTH	A	2' - 6"	4' - 8"	11.67	0.29	3.38	NFRC		
44	STAIR 121	EAST	A	2' - 0"	4' - 8"	9.33	0.29	2.71	NFRC		
TOTAL						180.94		52.47			
TOTAL UA VALUE / TOTAL GLAZING AREA = x (AVERAGE WINDOW U VALUE)								0.29	(AVERAGE U VALUE)		

TOTAL AVERAGE GLAZED DOOR + WINDOW (VERTICAL GLAZING) U-VALUE	U-VALUE = 0.29
WASHINGTON STATE ENERGY CODE VERTICAL GLAZING U-VALUE REQUIREMENT	U-VALUE = 0.30 OR BETTER

WINDOW TYPES

NOTE: SIZES SHOWN BELOW ARE FOR THE WINDOW ONLY (NOT R.O.). REFER TO ELEVATIONS ON SHEETS A2.1, A2.2 AND A2.3 FOR SWING DIRECTION.



WINDOW GENERAL NOTES:

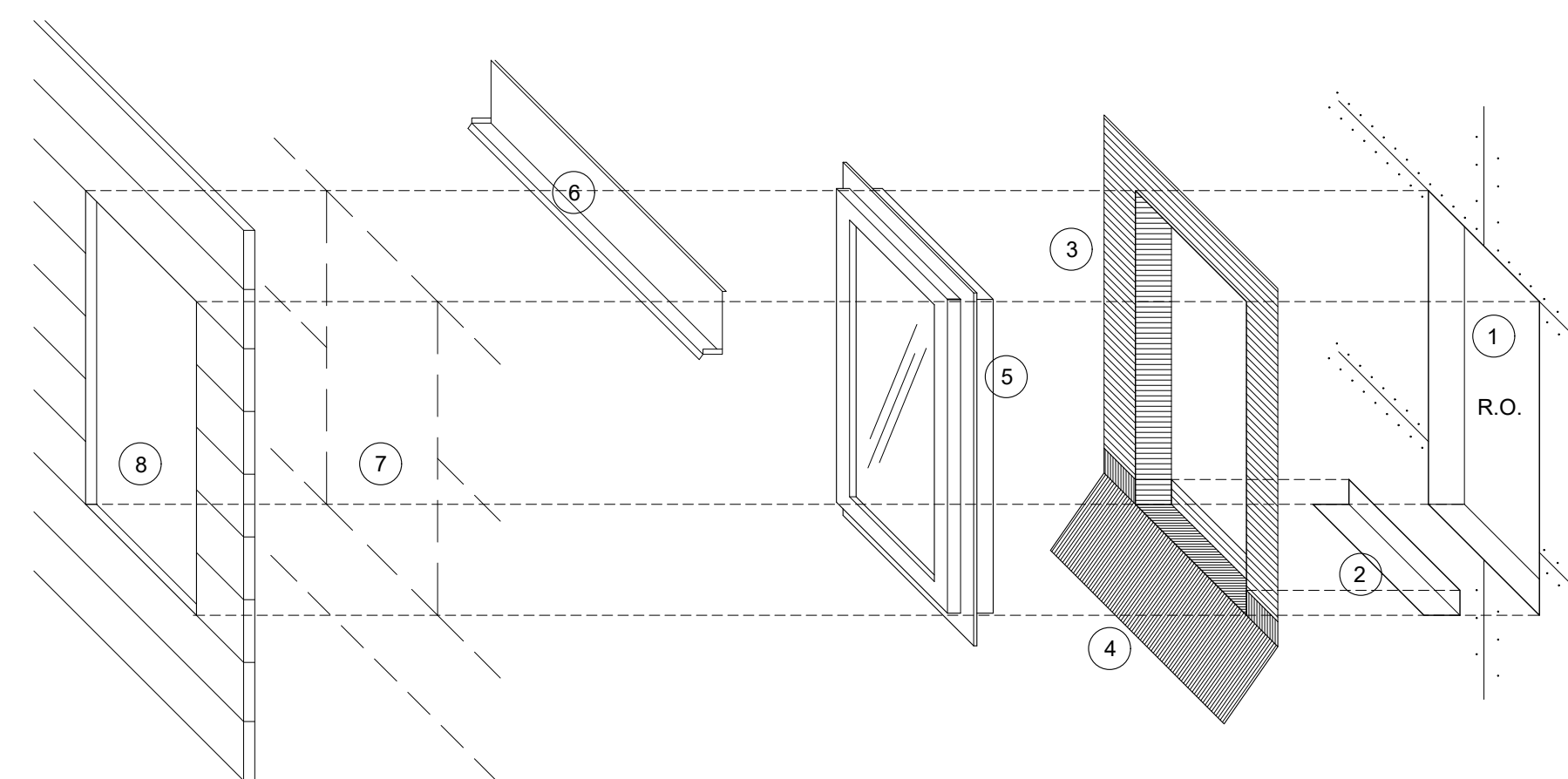
- WINDOWS ARE REFERENCED ON FLOOR PLANS (A1.1 & A1.2) AND ELEVATIONS (A2.1, & A2.2).
- ALL WINDOW SIZES SHOWN ARE APPROXIMATE. ALL ROUGH OPENING DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY CONTRACTOR AFTER FRAMING IS COMPLETED AND PRIOR TO ORDERING WINDOWS.
- WINDOW AREAS SHOWN ARE APPROXIMATE AND SHOULD BE VERIFIED W/ ACTUAL ROUGH OPENINGS.
- ALIGNMENTS SHOWN IN ELEVATIONS TAKE PRECEDENCE OVER R.O. DIMENSIONS.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL WINDOWS FOR ARCHITECT'S APPROVAL PRIOR TO ORDER / FABRICATION.
- AT LEAST ONE WINDOW OR DOOR LOCATED WITHIN SLEEPING ROOMS SHALL MEET EMERGENCY ESCAPE REQUIREMENTS PER SRC R310. EMERGENCY EGRESS WINDOWS AND DOORS ARE INDICATED ON SCHEDULE AS "EGRESS".
- ALL WINDOWS SHALL BE NFRC 100, LABELED AND CERTIFIED BY THE MANUFACTURER.
- SAFETY GLAZING TO BE PROVIDED PER SRC SECTION R308, AND AS INDICATED ON SCHEDULES AS TEMPERED (T), ALL HAZARDOUS GLAZING LOCATIONS SHALL COMPLY WITH SRC R308.4.
- CONTRACTOR TO PROVIDE WINDOW OPENING CONTROL DEVICES IN ACCORDANCE WITH SRC R312.2.2 TO LIMIT THE WINDOW OPENING TO NO GREATER THAN 4" (FOR ALL OPERABLE WINDOWS WHERE THE SILL OF THE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND GREATER THAN 72" ABOVE FINISHED GRADE).

WINDOW SPECIFICATION NOTES:

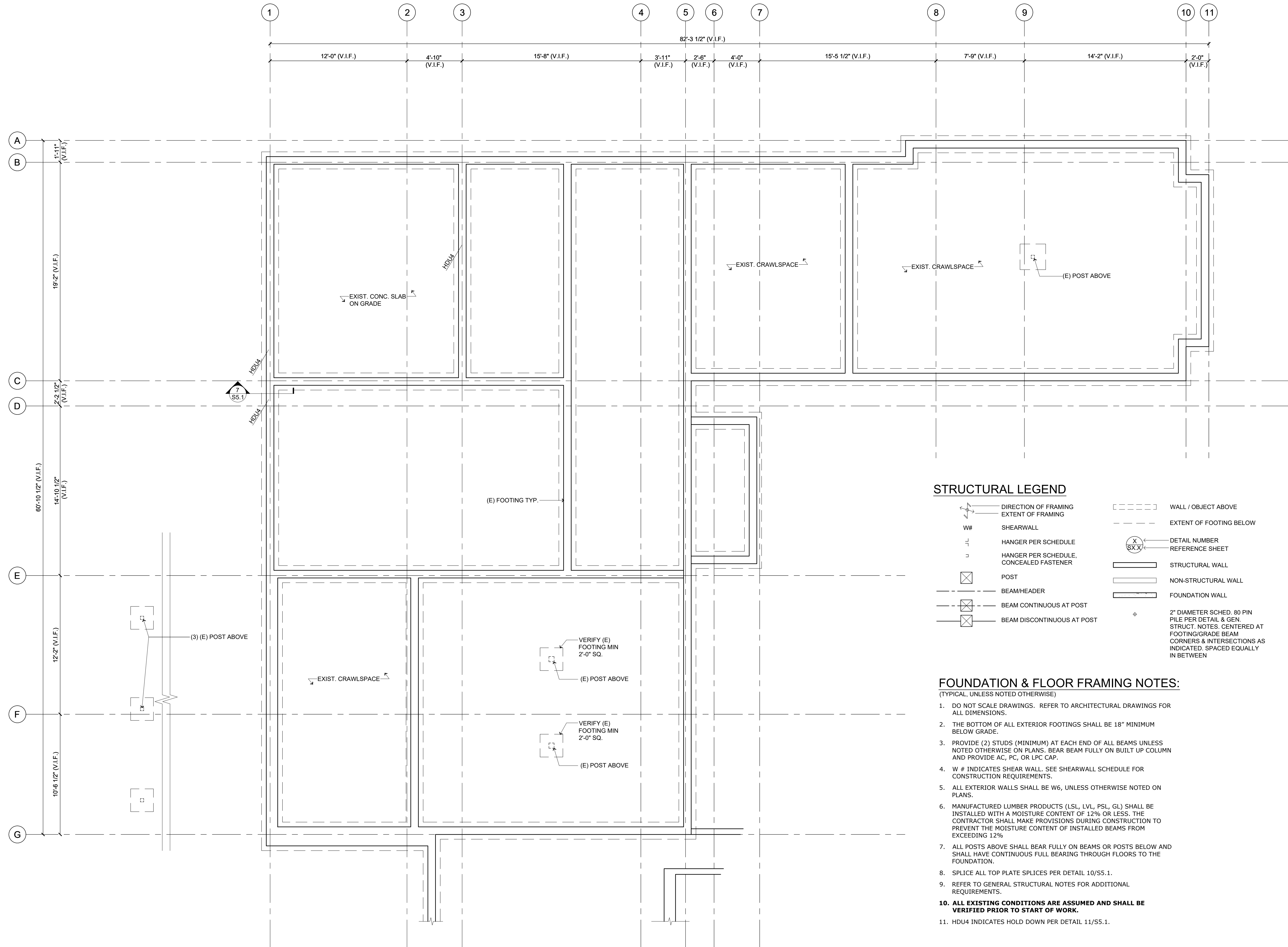
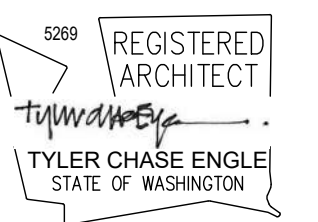
- ALL WINDOWS TO BE WOOD FRAMED WITH METAL CLAD EXTERIOR.
- METAL CLAD EXTERIOR COLOR PER OWNER / ARCHITECT.
- ALL WINDOWS TO HAVE A PRIMED (PAINT READY) INTERIOR FINISH IN THE "OXFORD WHITE" COLOR.
- ALL OPERABLE CASEMENT AND AWNING WINDOWS TO HAVE "PUSH OUT / MULTI POINT" HARDWARE.
- ALL DOUBLE HUNG WINDOWS TO HAVE DOUBLE HUNG / SASH LOCK HARDWARE.
- ALL WINDOWS TO HAVE OIL RUBBED BRONZE HARDWARE FINISH.
- ALL WINDOWS TO HAVE STANDARD 4 9/16" JAMB DEPTH WITH FACTORY 5/8" JAMB EXTENSIONS.
- ALL WINDOWS TO HAVE SQUARE STICKING PROFILES ON THE INTERIOR AND PUTTY STICKING PROFILES ON THE EXTERIOR.
- WINDOWS TO HAVE 5/8" SIMULATED DIVIDED LITE WITH SPACER BAR (SDL). SLD GRILLE LOCATIONS AND PATTERN PER THE EXTERIOR ELEVATIONS ON SHEETS A2.1-A2.2.
- ALL WINDOWS TO HAVE STANDARD SCREENS WITH ALUMINUM SURROUNDS.
- ALL SCREENS TO BE STANDARD ALUMINUM SCREENS WITH STANDARD BETTERVUE SCREEN CLOTH.
- WINDOW MANUFACTURER / MODEL: **LOEWEN - METAL CLAD EXTERIOR**
 CASEMENT: LOEWEN CASEMENT (PUSH OUT) / ALUMINUM CLAD / 90 DEGREE HINGE OPERATION / DOUBLE GLAZING / LowE1 ARGON FILLED / U-VALUE: 0.29
 FIXED: LOEWEN PICTURE (DIRECT SET) / ALUMINUM CLAD / DOUBLE GLAZING / CARDINAL LowE1 ARGON FILLED / U-VALUE: 0.29
 AWNING: LOEWEN AWNING (PUSH OUT) / ALUMINUM CLAD / DOUBLE GLAZING / LowE1 ARGON FILLED / U-VALUE: 0.29
 FRENCH CASEMENT: LOEWEN FRENCH CASEMENT (PUSH OUT) / ALUMINUM CLAD / 90 DEGREE HINGE OPERATION / DOUBLE GLAZING / LowE1 ARGON FILLED / U-VALUE: 0.29
 DOUBLE HUNG: LOEWEN DOUBLE HUNG G2 / DOUBLE GLAZING / LowE1 ARGON FILLED / U-VALUE: 0.29

TYPICAL WINDOW FLASHING DIAGRAM

SCALE: NOT TO SCALE



- PREPARE ROUGH OPENING WITH PROSOCO R-GUARD JOINT AND SEAM FILLER (WWW.PROSOCO.COM)
- INSTALL METAL FLASHING ANGLE WITH BACK DAM (SET IN SEALANT).
- LINE ROUGH OPENING (INCLUDING S.S. FLASHING ANGLE) WITH "FAST FLASH" LIQUID APPLIED FLASHING. EXTEND 9" OVER THE FACE OF THE SURROUNDING WALLS EXCEPT AT THE SHEATHING BELOW THE ROUGH OPENING.
- WHILE SILL FLASHING IS STILL WET, INSTALL "FABRIC MEMBRANE" COUNTER FLASHING. COAT OVER FABRIC INTO ROUGH OPENING AND AT ALL EDGES OF FABRIC WITH "FAST FLASH" LIQUID APPLIED FLASHING.
- APPLY CONTINUOUS 1/4" BEAD NON-SKINNING BUTYL CAULK ON WINDOW FLANGES BEFORE INSTALLATION. CAULK FRAME IF THERE IS NO FLANGE. DO NOT CAULK BOTTOM FLANGE.
- INSTALL "METAL FLASHING" WITH REGLET, SET IN SEALANT.
- INSTALL "WATER RESISTIVE BARRIER" PER MANUFACTURER'S INSTRUCTIONS. LAP "WATER RESISTIVE BARRIER" AT SILL WITH "FABRIC MEMBRANE" COUNTER FLASHING AND SET THE MEMBRANE SILL FLASHING TO THE "WATER RESISTIVE BARRIER" WITH DOW 788 SEALANT AND SEAL THE EDGE OF THE "WATER RESISTIVE BARRIER" TO THE NAIL FLANGE AT THE JAMBS AND TO THE METAL FLASHING AT THE HEAD.
- INSTALL SIDING AND TRIM PER ARCHITECTURAL DRAWINGS WITH BACKER ROD AND AIR BARRIER SEALANT PER MANUFACTURER'S INSTRUCTIONS AT ALL EDGES.



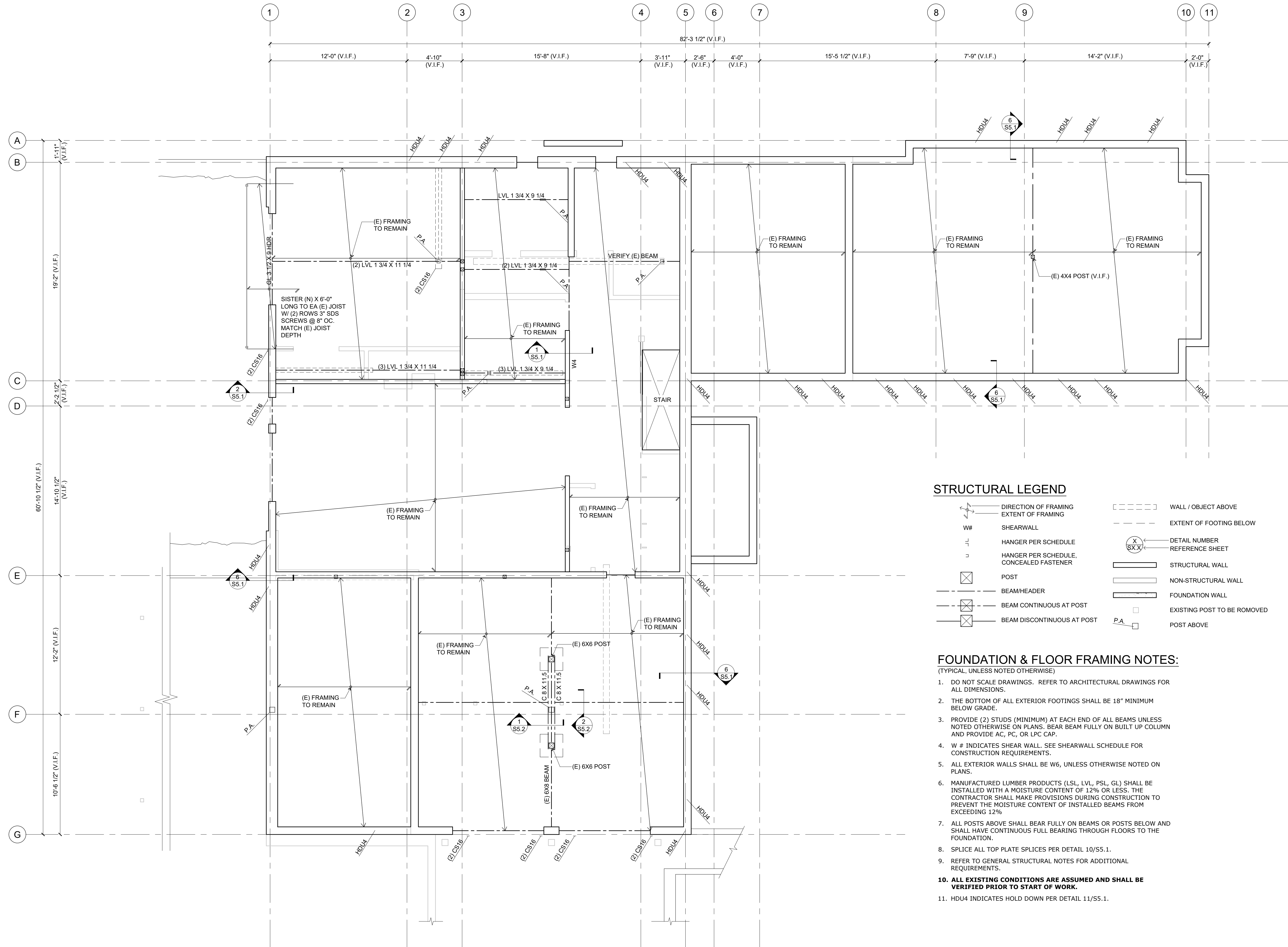
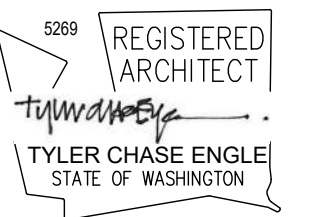
STRUCTURAL LEGEND

	DIRECTION OF FRAMING		WALL / OBJECT ABOVE
	EXTENT OF FRAMING		EXTENT OF FOOTING BELOW
	SHEARWALL		DETAIL NUMBER
	HANGER PER SCHEDULE		REFERENCE SHEET
	HANGER PER SCHEDULE, CONCEALED FASTENER		STRUCTURAL WALL
	POST		NON-STRUCTURAL WALL
	BEAM/HEADER		FOUNDATION WALL
	BEAM CONTINUOUS AT POST		2" DIAMETER SCHED. 80 PIN PILE PER DETAIL & GEN. STRUCT. NOTES, CENTERED AT FOOTING/GRADE BEAM CORNERS & INTERSECTIONS AS INDICATED. SPACED EQUALLY IN BETWEEN
	BEAM DISCONTINUOUS AT POST		

FOUNDATION & FLOOR FRAMING NOTES:
(TYPICAL, UNLESS NOTED OTHERWISE)

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE.
- PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL BEAMS UNLESS NOTED OTHERWISE ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC CAP.
- W # INDICATES SHEAR WALL. SEE SHEARWALL SCHEDULE FOR CONSTRUCTION REQUIREMENTS.
- ALL EXTERIOR WALLS SHALL BE W6, UNLESS OTHERWISE NOTED ON PLANS.
- MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
- ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
- SPLICE ALL TOP PLATE SPLICES PER DETAIL 10/55.1.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
- ALL EXISTING CONDITIONS ARE ASSUMED AND SHALL BE VERIFIED PRIOR TO START OF WORK.**
- HDU4 INDICATES HOLD DOWN PER DETAIL 11/55.1.

1 FOUNDATION AND LOWER FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"
0 5 10



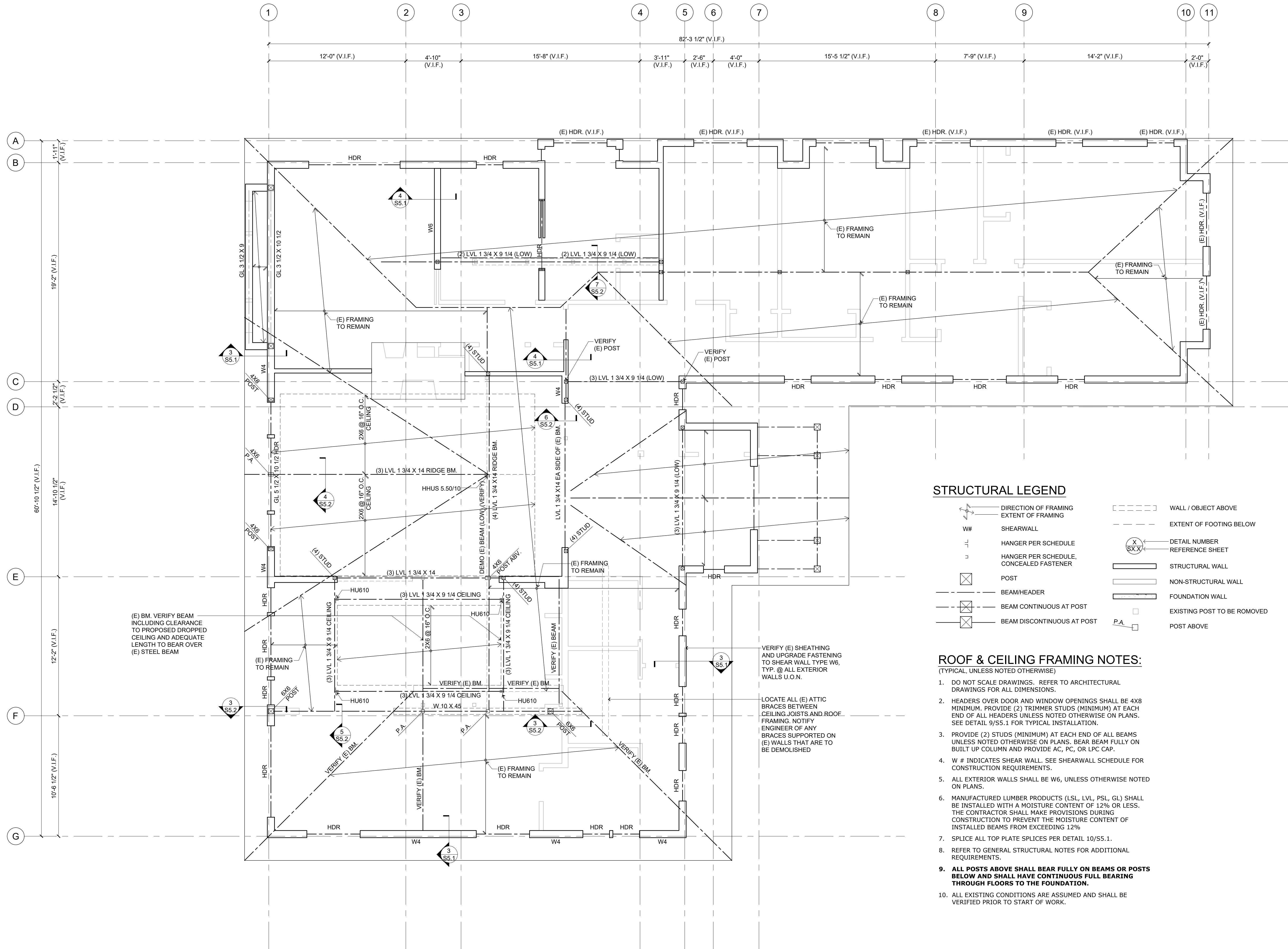
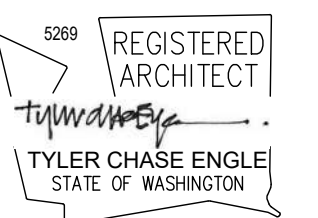
STRUCTURAL LEGEND

	DIRECTION OF FRAMING		WALL / OBJECT ABOVE
	EXTENT OF FRAMING		EXTENT OF FOOTING BELOW
W#	SHEARWALL		DETAIL NUMBER
	HANGER PER SCHEDULE		REFERENCE SHEET
	HANGER PER SCHEDULE, CONCEALED FASTENER		STRUCTURAL WALL
	POST		NON-STRUCTURAL WALL
	BEAM/HEADER		FOUNDATION WALL
	BEAM CONTINUOUS AT POST		EXISTING POST TO BE REMOVED
	BEAM DISCONTINUOUS AT POST	P.A.	POST ABOVE

FOUNDATION & FLOOR FRAMING NOTES:

- (TYPICAL, UNLESS NOTED OTHERWISE)
- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
 - THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE.
 - PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL BEAMS UNLESS NOTED OTHERWISE ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC CAP.
 - W # INDICATES SHEAR WALL. SEE SHEARWALL SCHEDULE FOR CONSTRUCTION REQUIREMENTS.
 - ALL EXTERIOR WALLS SHALL BE W6, UNLESS OTHERWISE NOTED ON PLANS.
 - MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
 - ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
 - SPLICE ALL TOP PLATE SPLICES PER DETAIL 10/SS.1.
 - REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
 - ALL EXISTING CONDITIONS ARE ASSUMED AND SHALL BE VERIFIED PRIOR TO START OF WORK.**
 - HDU4 INDICATES HOLD DOWN PER DETAIL 11/SS.1.

1 MAIN FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"
0 5 10



STRUCTURAL LEGEND

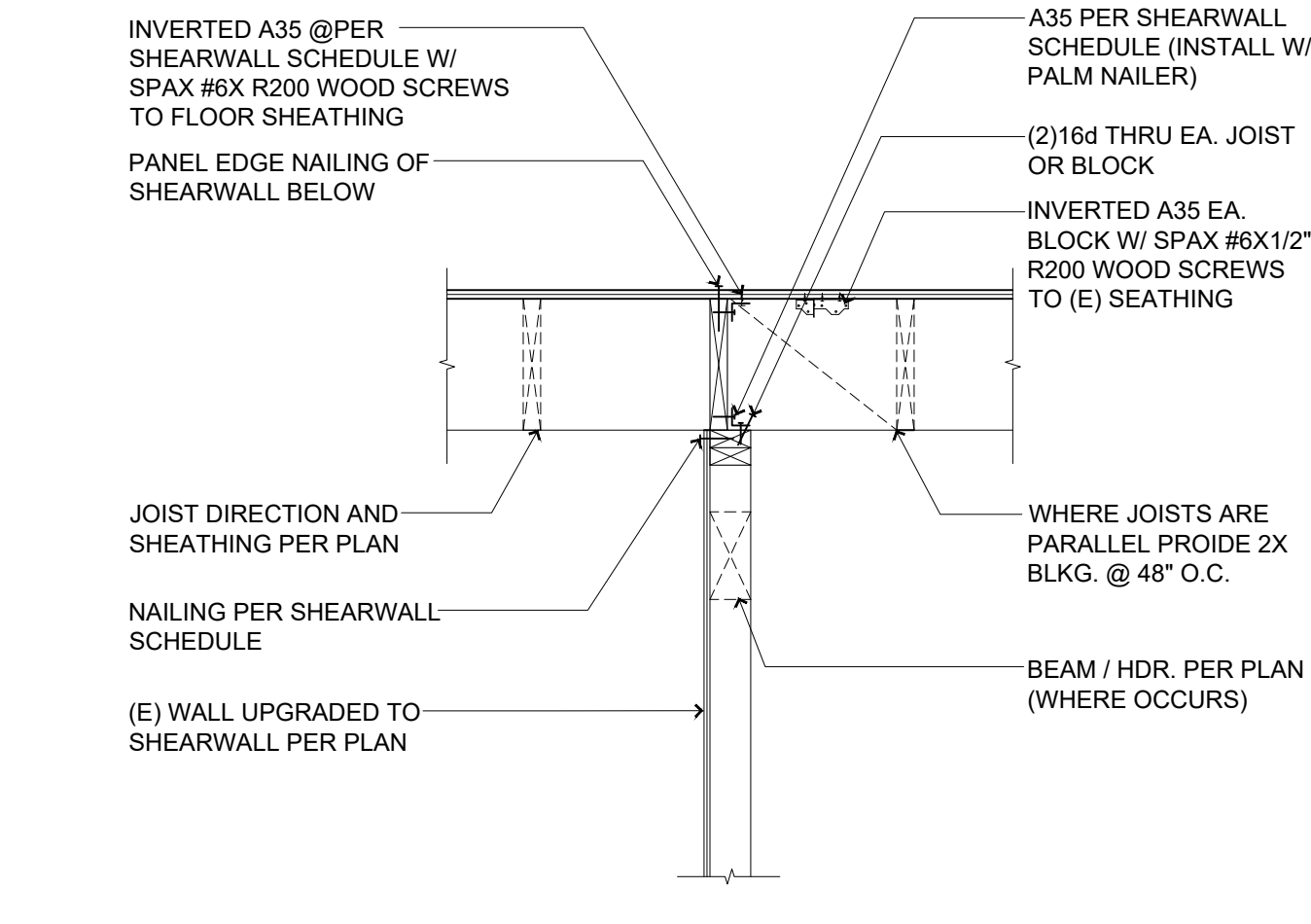
	DIRECTION OF FRAMING		WALL / OBJECT ABOVE
	SHEARWALL		EXTENT OF FOOTING BELOW
	HANGER PER SCHEDULE		DETAIL NUMBER
	HANGER PER SCHEDULE, CONCEALED FASTENER		REFERENCE SHEET
	POST		STRUCTURAL WALL
	BEAM/HEADER		NON-STRUCTURAL WALL
	BEAM CONTINUOUS AT POST		FOUNDATION WALL
	BEAM DISCONTINUOUS AT POST		EXISTING POST TO BE REMOVED
			POST ABOVE

ROOF & CEILING FRAMING NOTES:

(TYPICAL, UNLESS NOTED OTHERWISE)

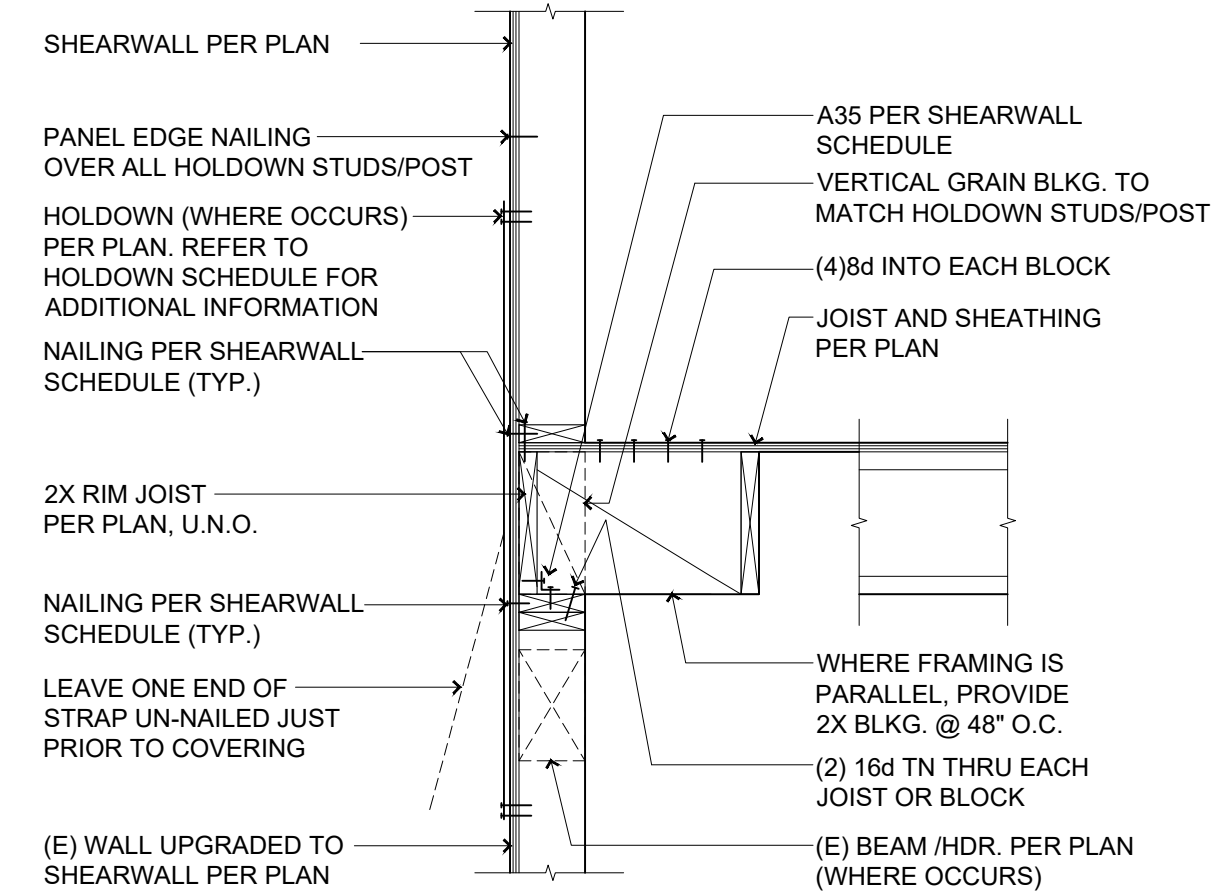
- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE 4X8 MINIMUM. PROVIDE (2) TRIMMER STUDS (MINIMUM) AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE ON PLANS. SEE DETAIL 9/S5.1 FOR TYPICAL INSTALLATION.
- PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL BEAMS UNLESS NOTED OTHERWISE ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC CAP.
- W # INDICATES SHEAR WALL. SEE SHEARWALL SCHEDULE FOR CONSTRUCTION REQUIREMENTS.
- ALL EXTERIOR WALLS SHALL BE W6, UNLESS OTHERWISE NOTED ON PLANS.
- MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
- SPLICE ALL TOP PLATE SPLICES PER DETAIL 10/S5.1.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
- ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.**
- ALL EXISTING CONDITIONS ARE ASSUMED AND SHALL BE VERIFIED PRIOR TO START OF WORK.

1 ROOF & CEILING FRAMING PLAN
SCALE: 1/4" = 1'-0"
0 5 10



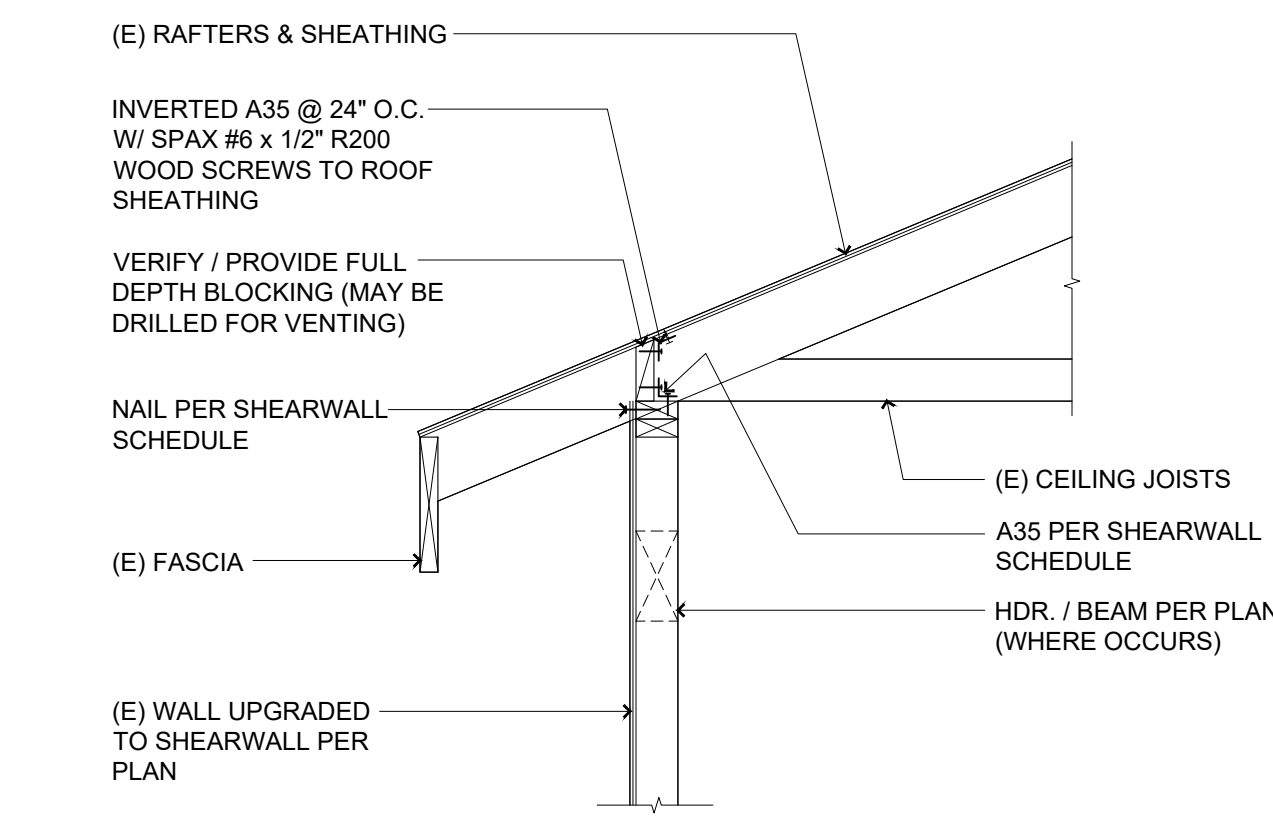
1 INTERIOR SHEARWALL BELOW EXISTING FLOOR

SCALE: 3/4" = 1'-0"



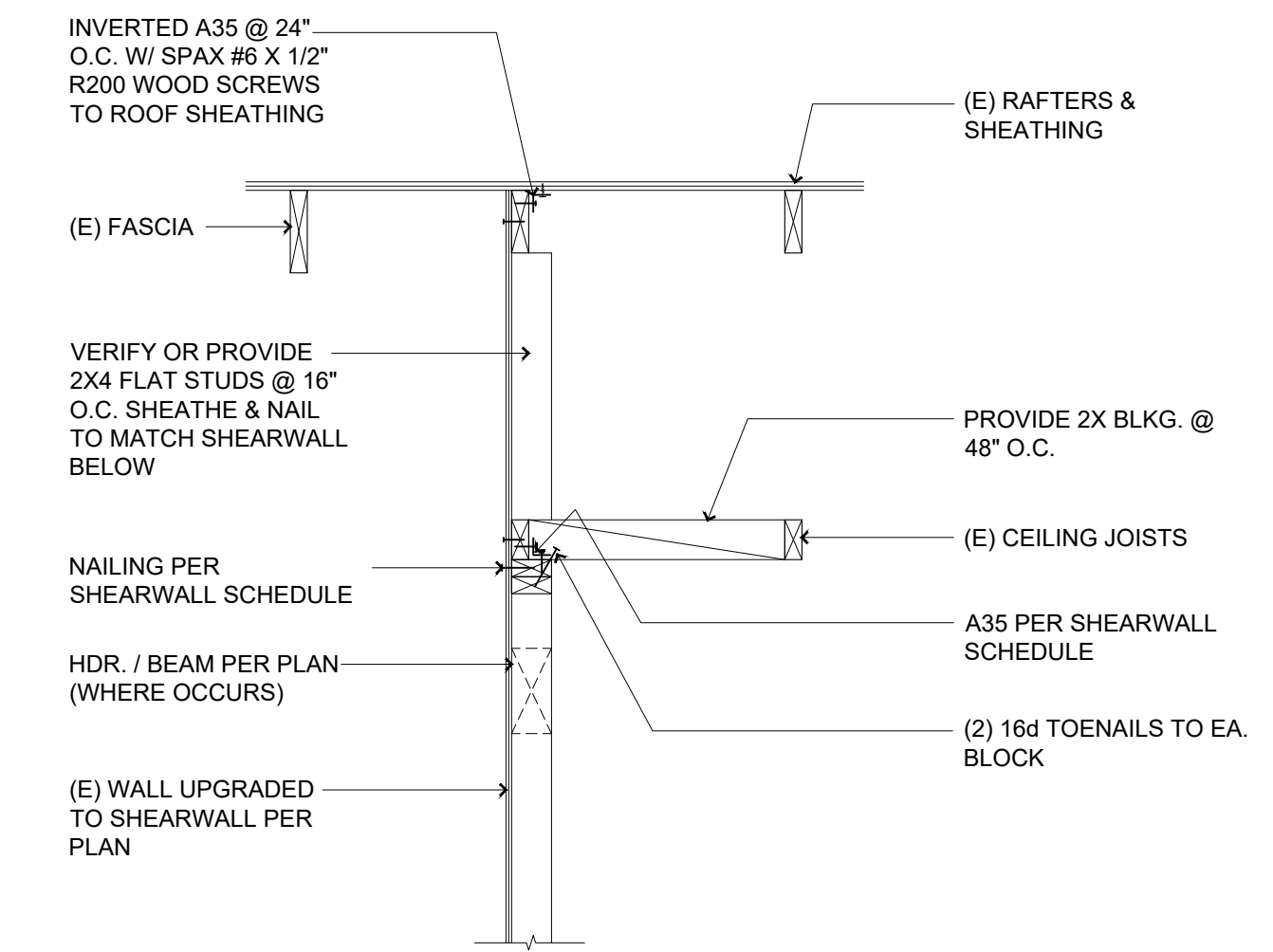
2 EXTERIOR FLOOR FRAMING

SCALE: 3/4" = 1'-0"



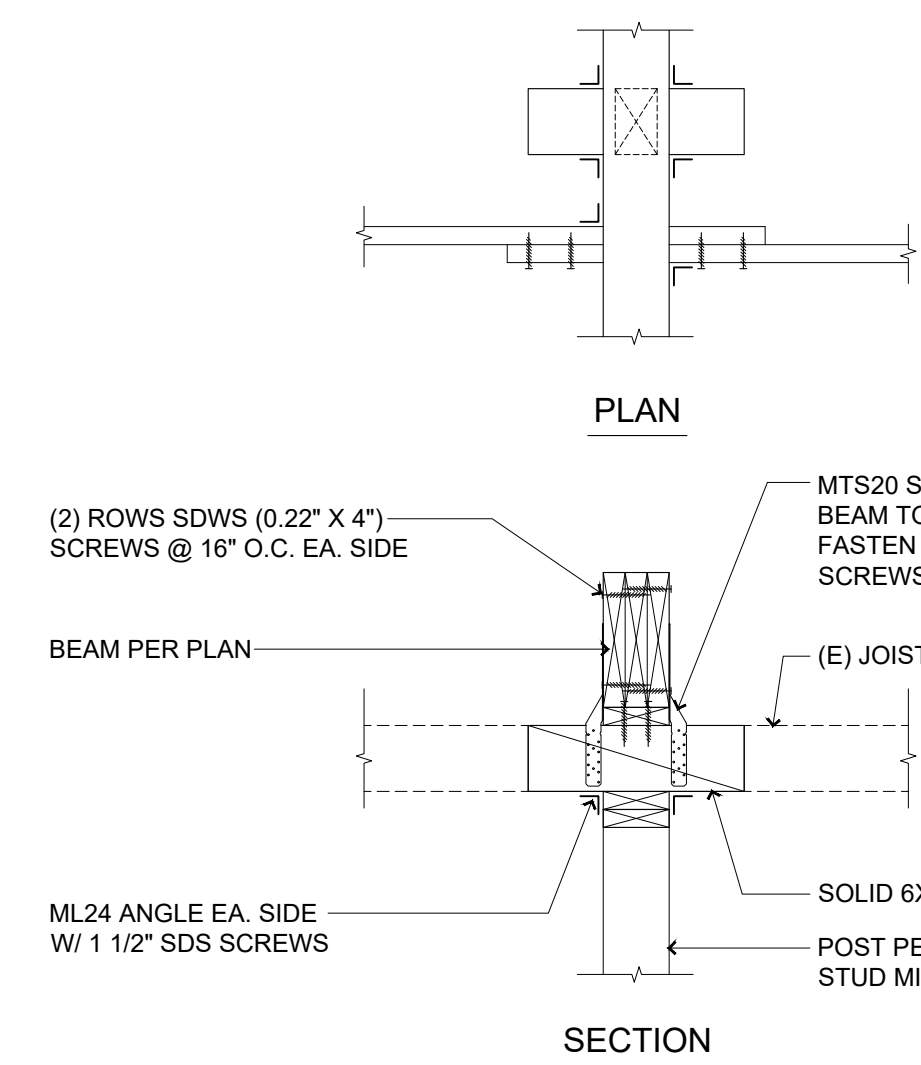
3 EXISTING EXTERIOR ROOF BEARING

SCALE: 3/4" = 1'-0"



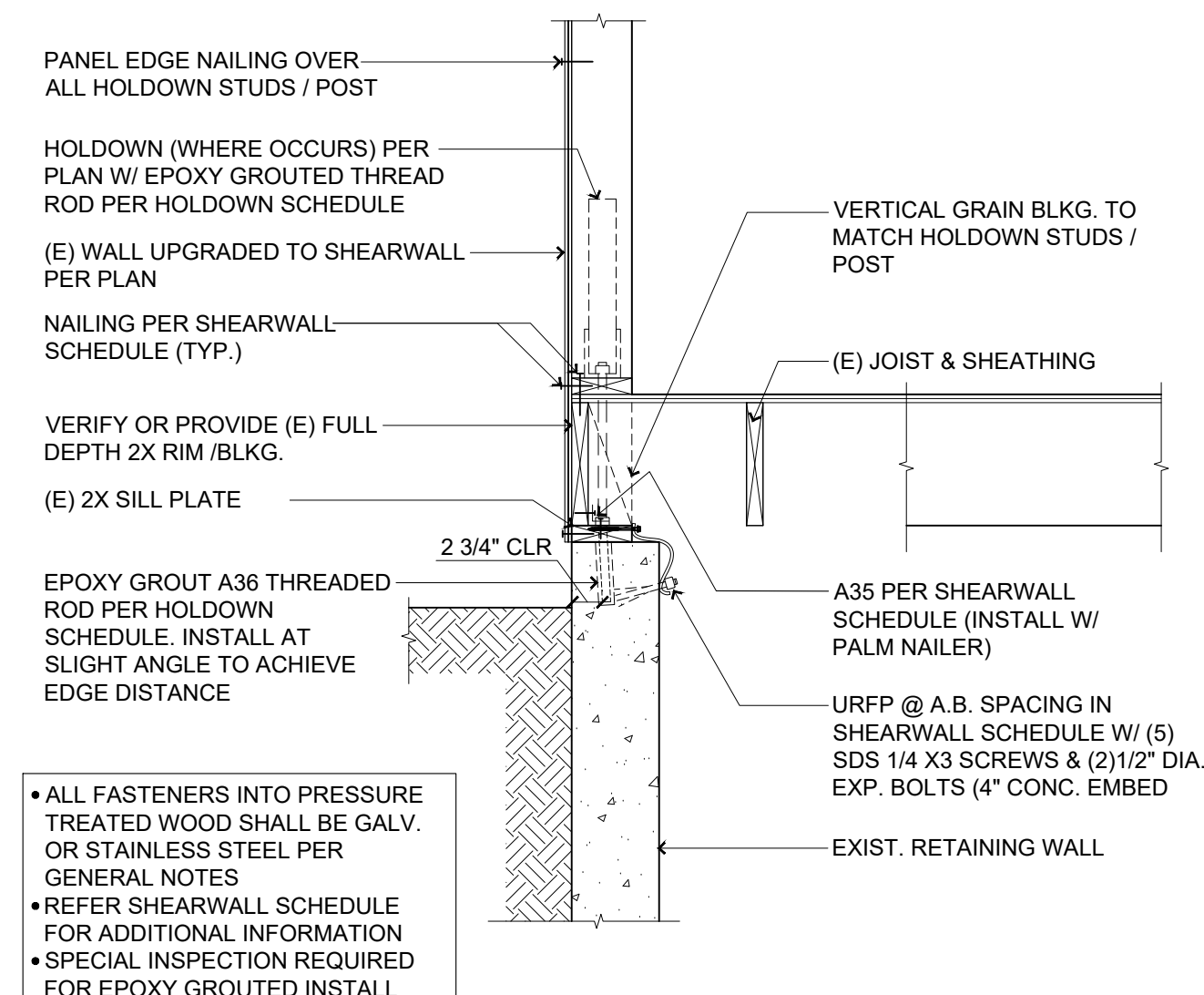
4 INTERIOR SHEARWALL BELOW EXISTING ROOF FRAMING

SCALE: 3/4" = 1'-0"



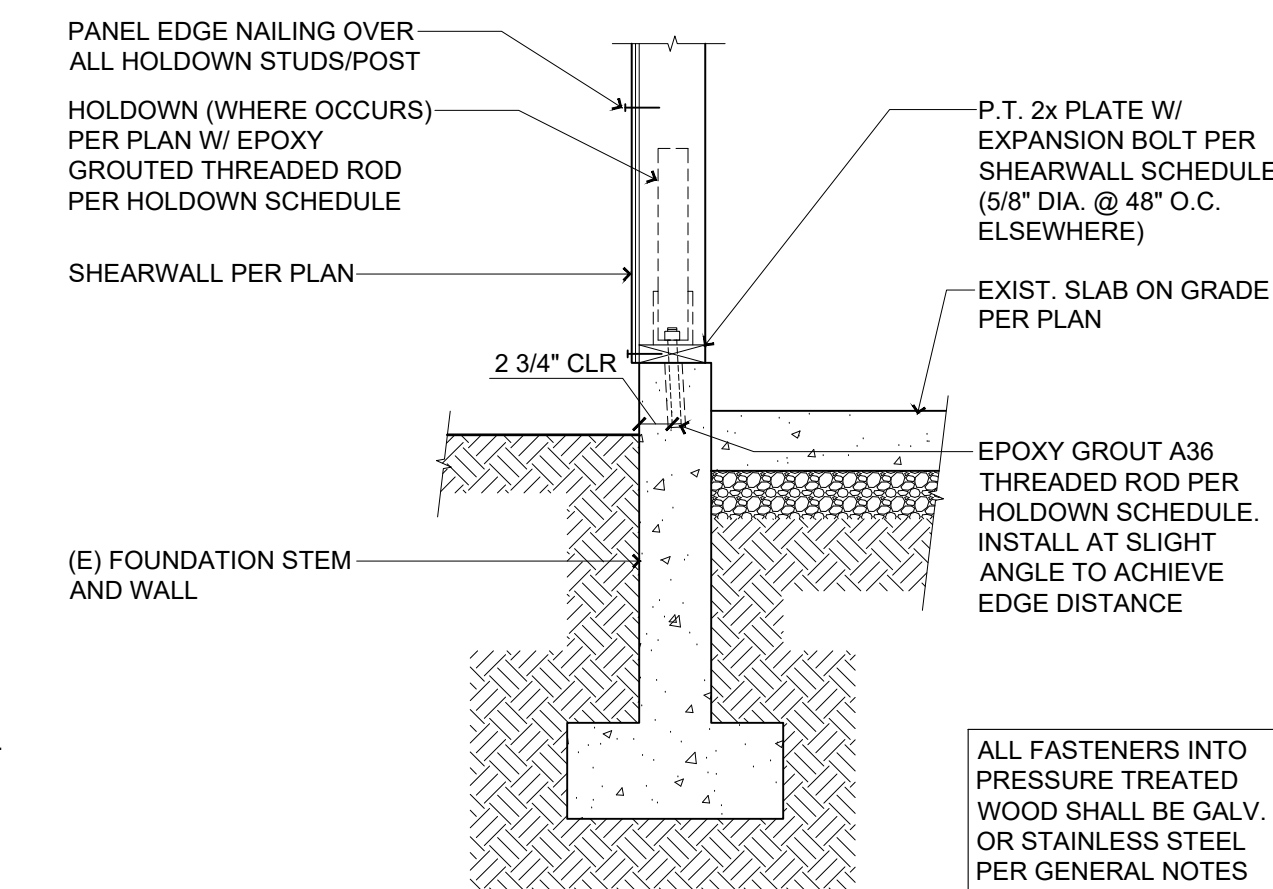
5 POST TO BEAM CONN. AT CEILING FRAMING

SCALE: 3/4" = 1'-0"



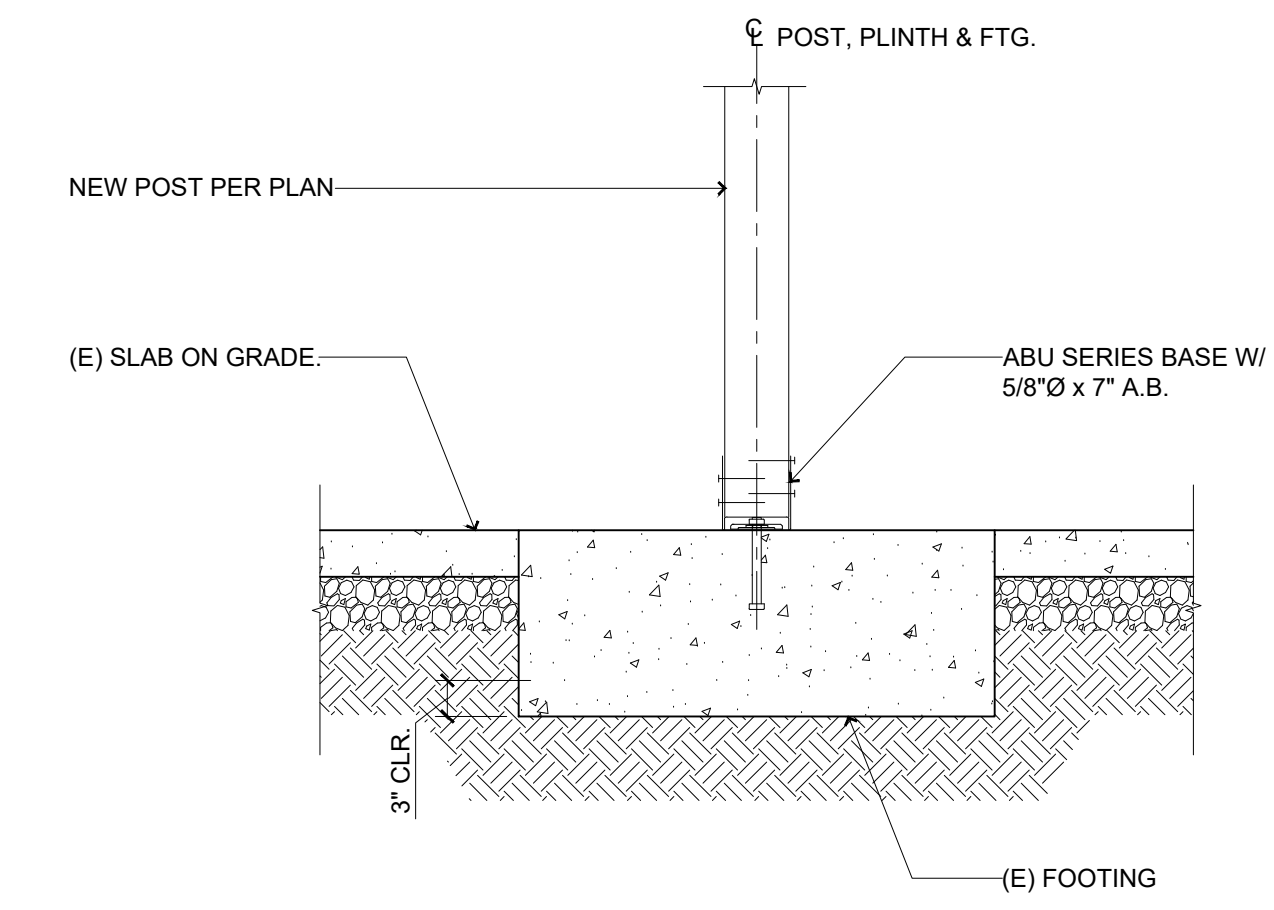
6 EXISTING FRAMING AT BASEMENT RETAINING WALL

SCALE: 3/4" = 1'-0"



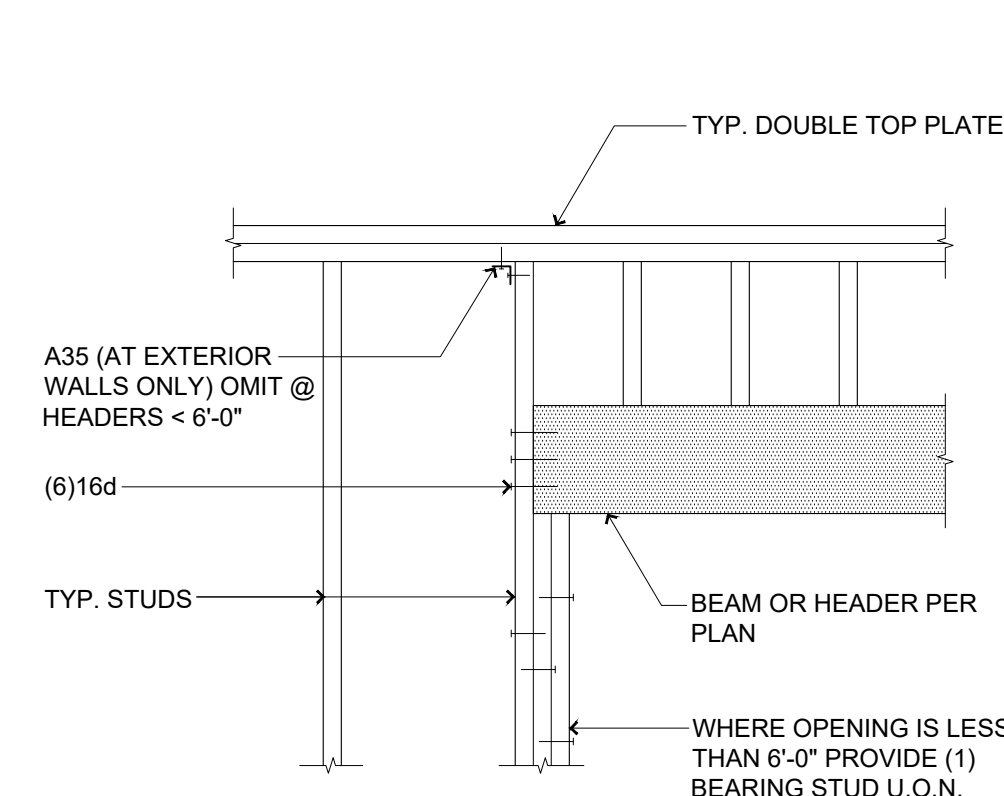
7 NEW EXTERIOR WALL W/ EXIST. SLAB & FOUNDATION

SCALE: 3/4" = 1'-0"



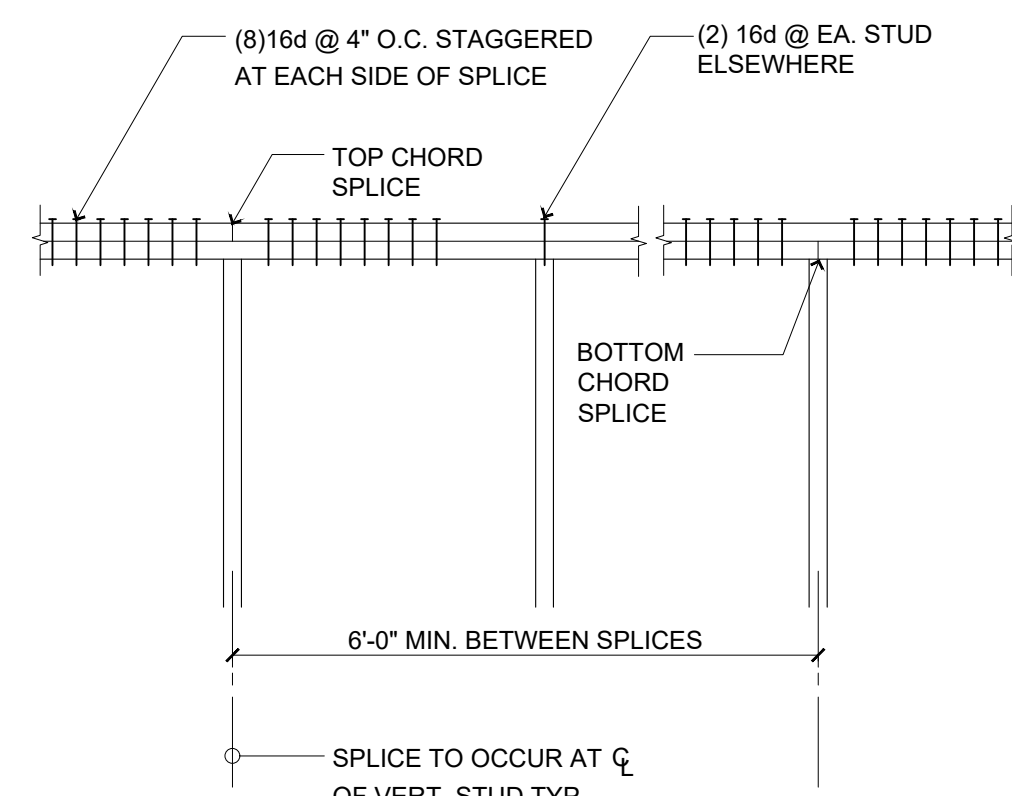
8 NEW POST W/ EXISTING FOOTING & SLAB - ABU

SCALE: 3/4" = 1'-0"



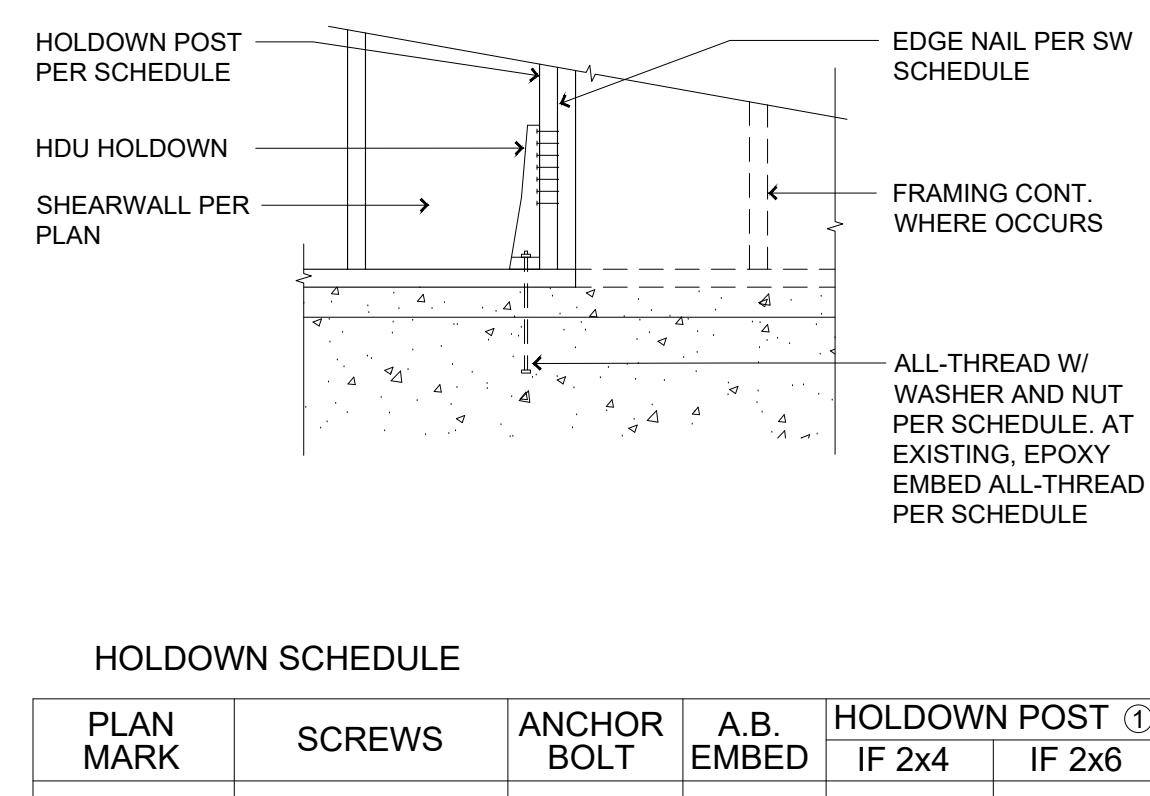
9 TYPICAL HEADER SUPPORT

SCALE: 3/4" = 1'-0"



10 TYPICAL TOP PLATE SPLICE

SCALE: 3/4" = 1'-0"



11 TYP. HDU HOLDOWN DETAIL AND SCHEDULE

SCALE: 3/4" = 1'-0"

Shearwall Schedule ①②③④⑤⑥⑦

Mark	Sheathing	Panel Edge Nailing	Top Plate Connection		Base Connection	
			if TJI	if Wood ⑧⑨	at Wood ⑩	at Concrete
W6	15/32" CDX PLYWOOD	8d @ 6"oc	16d @ 6"oc	A35 @ 24"oc	(2)rows 16d @ 6"oc	5/8"Ø A.B. @ 48"oc
W4	15/32" CDX PLYWOOD	8d @ 4"oc	16d @ 4"oc	A35 @ 16"oc	(2)rows 16d @ 4"oc	5/8"Ø A.B. @ 32"oc
W3 ④	15/32" CDX PLYWOOD	8d @ 3"oc	(2)rows 16d @ 4"oc	A35 @ 12"oc	(2)rows 16d @ 4"oc	5/8"Ø A.B. @ 24"oc
W2 ④	15/32" CDX PLYWOOD	8d @ 2"oc	(2)rows 16d @ 4"oc	A35 @ 9"oc	(3)rows 16d @ 4"oc ⑪	5/8"Ø A.B. @ 16"oc

- ① BLOCK PANEL EDGES WITH 2x MIN. LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12"o.c.
- ② 8d NAILS SHALL BE 0.131" x 2 1/2" (common) - 16d NAILS SHALL BE 0.135"Ø x 3 1/2" (box)
- ③ EMBED ANCHOR BOLTS AT LEAST 7". EXPANSION BOLTS MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 4" EMBEDMENT. TITEN HD SCREW ANCHORS MAY BE SUBSTITUTED FOR ANCHOR BOLTS W/ 4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3" x 1/4" MIN. PLATE WASHERS. PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING. SEE DETAIL C.
- ④ 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF W3 AND W2. SEE DETAIL B. WHERE 3x STUDS ARE USED FOR W2, STAGGER NAILS AT ADJOINING PANEL EDGES.
- ⑤ TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SHEARWALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING. SEE PLANS AND HOLDOWN SCHEDULE FOR ALTERNATE REQUIREMENTS.
- ⑥ ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE.
- ⑦ 7/16" O.S.B. MAY BE SUBSTITUTED FOR 15/32" CDX.
- ⑧ LTP4's (HORIZONTAL ORIENTATION) W/ 8d COMMON MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
- ⑨ A 2x NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
- ⑩ AT MULTI-ROW NAILING, MINIMUM OFFSET BETWEEN ROWS AND ROW SPACING 1/2", SEE DETAIL D.
- ⑪ PROVIDE (3) ROWS 16d @ 6"oc AT LVL RIMS.

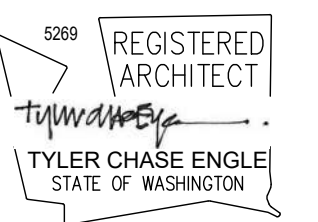
HOLDOWN SCHEDULE

PLAN MARK	SCREWS	ANCHOR BOLT	A.B. EMBED	HOLDOWN POST ①	
				IF 2x4	IF 2x6
HDU4-SDS2.5	(10) SDS 1/4" x 2-1/2"	5/8" Ø	10"	4x4	4x6

① MINIMUM SIZE OF POST AT END OF WALL UNLESS OTHERWISE NOTED ON FRAMING PLANS.

ISSUE / REVISIONS	DATE
PERMIT SUBMITTAL	09.01.2023
PERMIT INTAKE	10.17.2023

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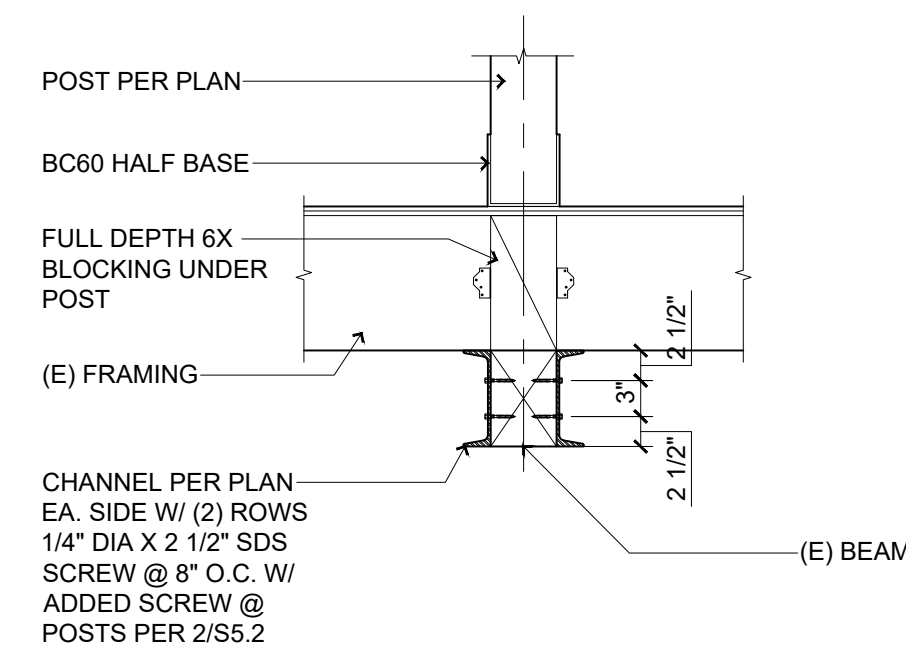


DEDICATED APPROVAL STAMP SPACE

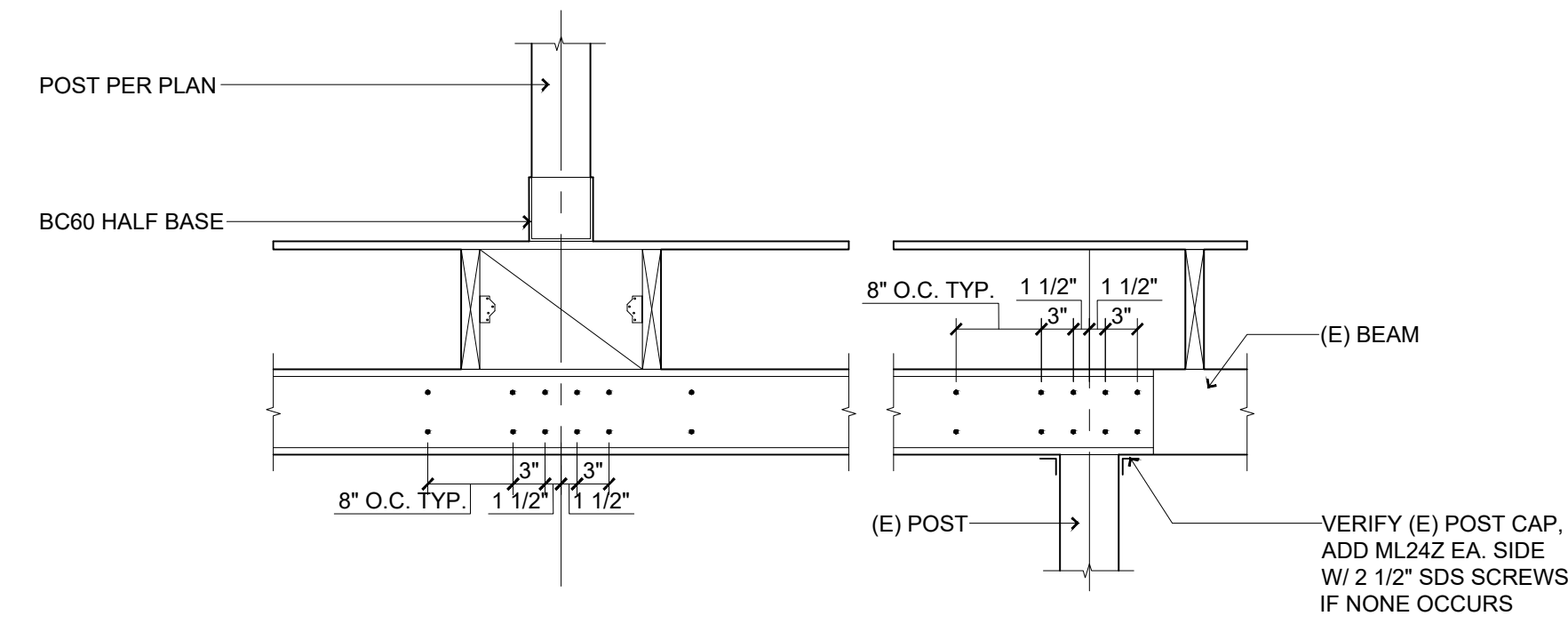
DRAWING TITLE
STRUCTURAL DETAILS

DRAWN / CHECKED BY
DRAWN BY: S. VIDYARTHI
CHECKED BY: E. GIBSON, T. ENGLE

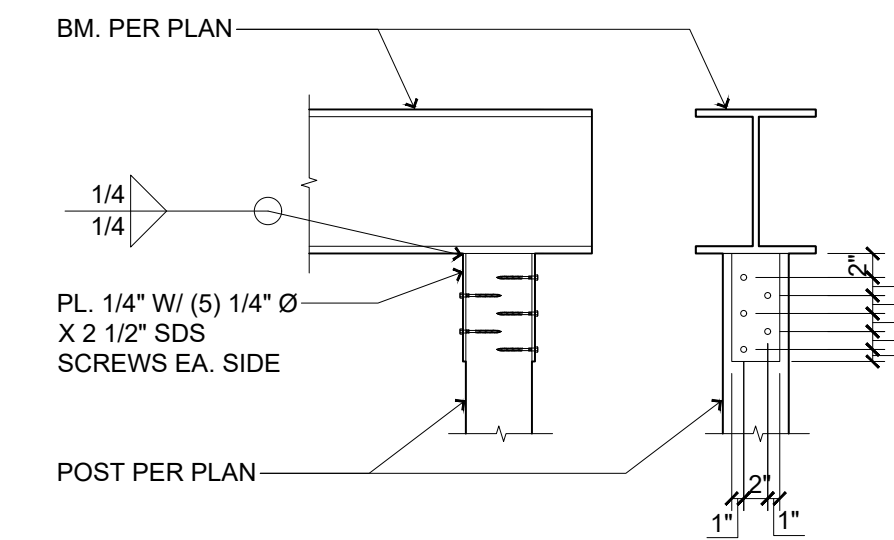
DATE: **10.11.2023** SHEET NUMBER: **S5.2**



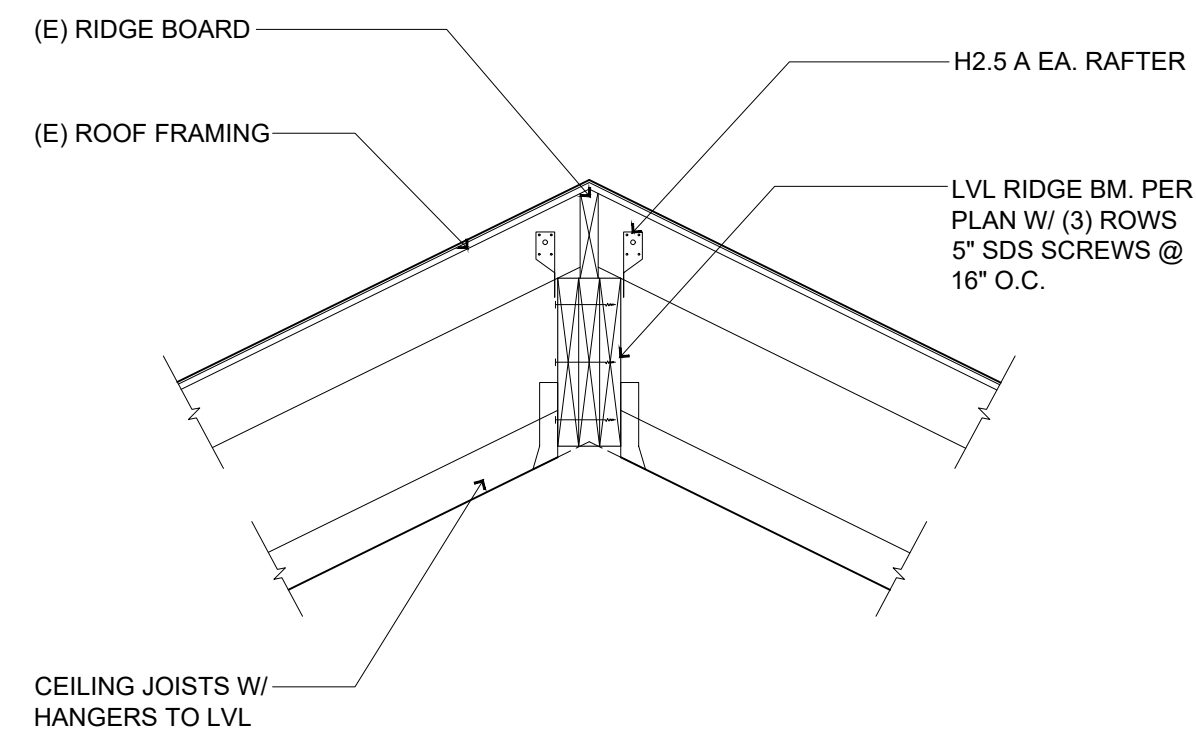
1 REINFORCED BEAM AT GARAGE (SECTION)
SCALE: 3/4" = 1'-0"



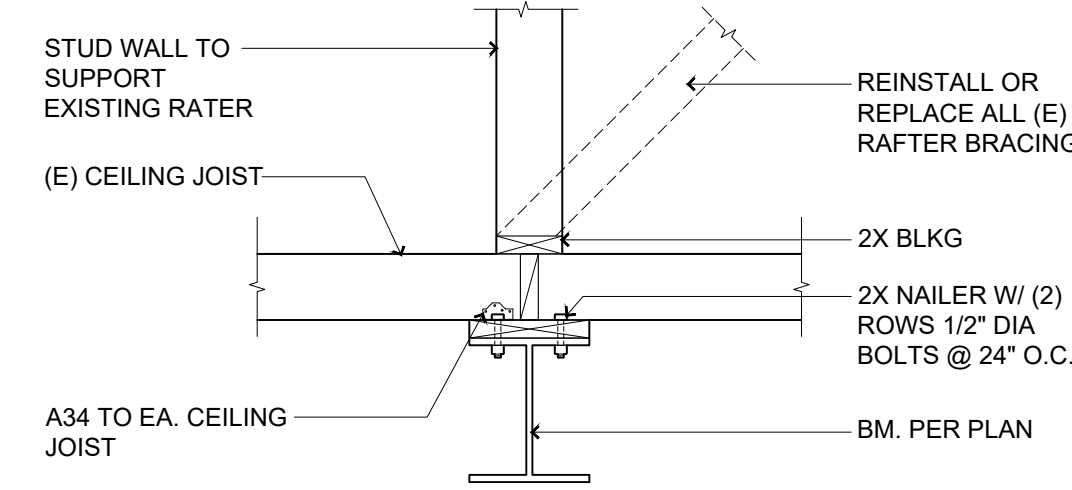
2 REINFORCED BEAM AT GARAGE (ELEVATION)
SCALE: 3/4" = 1'-0"



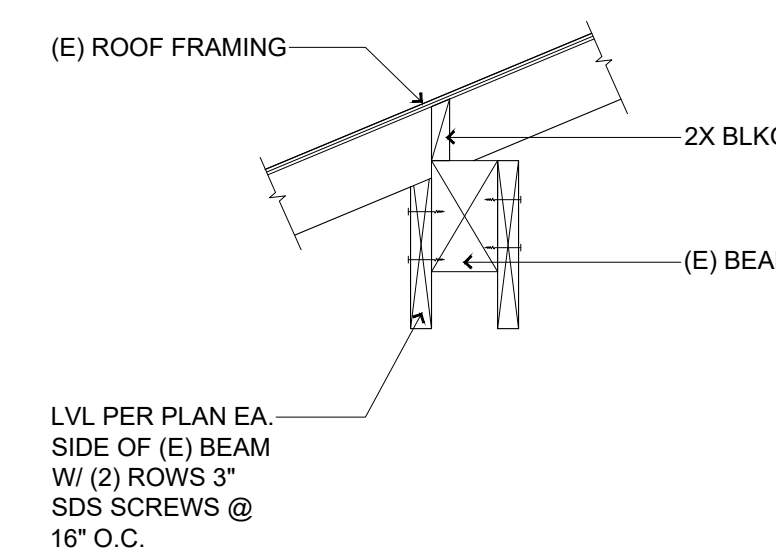
3 STEEL BEAM TO WOOD POST
SCALE: 3/4" = 1'-0"



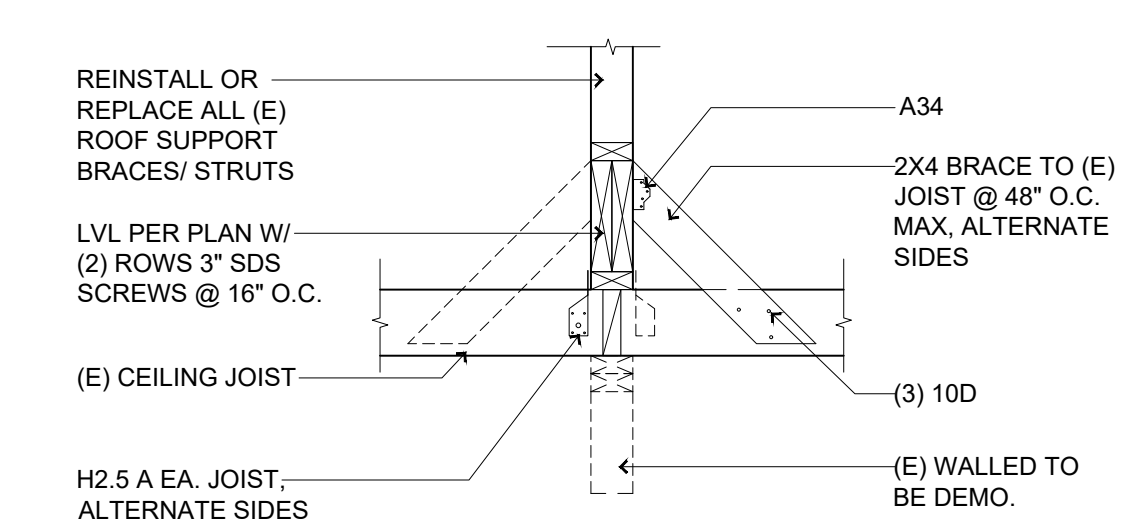
4 RIDGE BEAM AT VAULTED CEILING
SCALE: 3/4" = 1'-0"



5 STEEL BEAM AT CEILING
SCALE: 3/4" = 1'-0"



6 REINFORCED BEAM AT ROOF FRAMING
SCALE: 3/4" = 1'-0"



7 ATTIC BEAM
SCALE: 3/4" = 1'-0"